GENERAL INFORMATION

LAND/BUILDING OWNER	REGIONAL HOUSING AUTHORITY
MAILING ADDRESS	384 MILES AVE YUBA CITY, CA 95991
SCOPE OF WORK	NEW MAINTENANCE BUILDING OF MANUFACTURED STEEL CONSTRUCTION WITH INTERIOR WOOD FRAMED PARTITIONS TO REPLACE EXISTING OF ROUGHLY SAME FOOTPRINT
GOVERNING CODES	2016 CA BUILDING CODE 2016 CA RESIDENTIAL CODE 2016 CA GREEN BUILDING COD 2016 CA ENERGY CODE 2016 CA ELECTRICAL CODE 2016 CA FIRE CODE 2016 CA PLUMBING CODE 2016 CA MECHANICAL CODE YUBA CITY MUNICIPAL CODE

SITE INFORMATION

ASSESSOR'S PARCEL NO	053-470-053
ZONING	R-3
PARCEL ACREAGE	62.94
WATER	PUBLIC
SEWAGE DISPOSAL	PUBLIC SEWER
WILDLAND URBAN INTER PER CRC R337	<u>NO</u>
NATURAL GAS AVAIL	YES
SITE ELEVATION	50' ASL
GROUND SNOW LOAD	Ø PSF
FLOOD ZONE/ COMUNITY NO.	X PER 0603940605E
PERMITTING AGENCY	YUBA CITY

SPECIAL FEATURES

HERS DUCT TESTING	NO DUCTS
ENERGY CERT OF COMPL . PER CF-1R	YES

TO TO TO TO TO TO TO TO TO TO

7RR	KEVIATIONS	LS
AB	ANCHOR BOLT	LI
ABV	ABOVE	ΜВ
ALT	ALTERNATE	MFGR
ARCH	ARCHITECT/URAL	MAX
ASL	ABOVE SEA LEVEL	MECH
BLK	BLOCK	MET
BLKG	BLOCKING	MEZZ
BOF	BOTTOM OF FOOTING	MISC
BLDG	BUILDING	1.00
BTM	BOTTOM	(N)
	DETWEEN	NTS
СВС	CALIFORNIA BUILDING CODE	#
CIP	CAST IN PLACE	NO
CLG	CEILING	OPNG
CL	CENTER LINE	OH
CC	CENTER TO CENTER	OD
CJ	CELLING JOIST	OV/
CLR	CLEAR	
CMU	CONCRETE MASONRY UNIT	d
COL	COLUMN	PERP PC
CONC	CONCRETE	P: PX: P
CONN	CONNECTION	
CONT	CONTINUOUS	PL
CUNTR	CALIFORNIA RESIDENTIAL CODE	PLYWD
CSM	CASEMENT	PSI
CTRD	CENTERED	PSF
DIAG	DIAGONAL	PLBG
DIA	DIAMETER	LBS
DIM	DIMENSION	гс рт
DBL	DOUBLE	PROJ
DWGS	DRAWINGS	
EA	EACH	R
EW	EACH WAY	RDWD
ELEC	ELECTRICAL	REF
ELEV	ELEVATION	REINF
FN	EDGE NATI ING	REQU
EQ	EQUAL	RO
EXISTG	EXISTING	RHWS
(E)	EXISTING	RWL
EJ	EXPANSION JOINT	
EXT	EXTERIOR	SECT
FC	FACE OF CONCRETE/CURB	SFR
FIN	FINISH	SHIG
FN	FIELD NAILING	SIM
FF	FINISHED FLOOR	SN
FLR	FLOOR	SMS
FT	FOOT/FEET	SQ
FTG	FOOTING	STAGR
FDN	FOUNDATION	STD
FKMG	FRAMING	SIL
ГА	FIXED	STRUCT
GA	GAGE	0111001
GALV	GALVANIZED	т & В
GL	GLU-LAM	TOF
GR	GRADE	TOS
HDG	HOT DIPPED GALVANIZED	T&G
HDR	HEADER	THK
HGR	HANGER	
		TS
нэв	HIGH STRENGTH BOLT	TYP
HD HOP17	HOLD DOWN	
HSS	HOLLOW STEEL SECTION	UBC
		UNO
INFO	INFORMATION	VEDT
ID	INSIDE DIAMETER	VLNI
INT	INTERIOR	WWF
		WT
JT		W/
JAI 191	JUIST HANGER	WD
JH	JUIDT HANGER	

MANUFACTURE/D/ MAXIMUM MECHANICAL METAL MEZZANINE MINIMUM MISCELLANEOUS NEW NOT TO SCALE NUMBER/POUNDS NUMBER OPENING OPPOSITE HAND OUTSIDE DIAMETER OVER PENNY PERPENDICULAR PIECE PXX PIPE: PIPE X-STRONG: PIPE XX-STRONG PLATE PLYWOOD PER SQUARE INCH PER SQUARE FOOT PLUMBING POUNDS

LAG SCREW LIGHT

MACHINE BOLT

PROJECTION RADIUS REDWOOD REFERENCE REINFORCE/ING/MENT/D REQUIRED REVISION ROUGH OPENING ROUND HEAD WOOD SCREW RAIN WATER LEADER SECTION SINGLE FAMILY RESIDENCE SHEATHING SHEET

PRECAST CONCRETE

PRESSURE TREATED

SIMILAR STITCH NAIL/ED SHEET METAL SCREWS SQUARE STAGGER/ED STANDARD STEEL STIFFENER STRUCTURAL

TOP AND BOTTOM TOP OF FRAMING TOP OF STEEL TONGUE AND GROOVE THICK THROUGH TOE NAIL TUBE STEEL TYPICAL

UNIFORM BUILDING CODE UNLESS NOTED OTHERWISE

VERTICAL

WELDED WIRE FABRIC WEIGHT WITH WOOD

BUILDING INFORMATION

CONCEPTION			V-B
CONSTRUCTION			
SPRINKLERED			<u>NO</u>
OCCUPANCY	MIXED	SEE	TABLE ON A3
1ST FLOOR CONDITION	NED		1,298 SQFT
1ST FLOOR SHOP UNC	COND.		718 SQFT
MEZZANINE UNCONDI	ITIONED		1,298 SQFT
]	PROVIDED

NO. OF STORIES 1,298 SQFT BUILDING AREA 3,314 SQFT FIRE AREA

13,500	56

BUILDING LOADS

ROOF SNOW LOAD	Ø PSF
ROOF LIVE LOAD	20 PSF
COLLATERAL LOADS	5 PSF
MEZZ FLOOR LIVE LOAD	
MEZZ FLOOR DEAD LOAD	

DESIGN CRITERIA <u>SOIL</u>

GEOTECHNICAL REPORT	NONE PROVIDED
ALLOW. SOIL BEARING PRESS	SURE1,500 PSF
ALLOW. LAT. BEARING PRESS	OURE 100 PSF/FT
ALLOW. COHESION	130 PSF_
MANUF HOMES AND COMMERCIAL MODULAR B DESIGNED FOR A 1,000 PSF MAX SOIL BEAR GEOTECH TO SUBSTANTIATE HIGHER DESIG 25, DIV 1, CH 2, SECTION 1334(D)	BUILDINGS SHALL BE RING CAPACITY UNLESS A GN VALUES PER CCR TITLE
WIND	
WIND (3 SEC GUST)	110 MPH
EXPOSURE	C
SEISMIC	
DESIGN CATEGORY	D

STATE R NEW BUI ZONE WI
NEW BUI HIGH FIR
NEW BUI INTERFA AGENCY
NONE OF

MAINTENANCE BUILDING FOR: REGIONAL HOUSING AUTHORITY 384 MILES AVE YUBA CITY, CA 95993



1 ISOMETRIC RENDERING AO / ELEVATION







RESPONSIBILITY AREAS. UILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY NITHIN STATE RESPONSIBILITY AREAS

JILDINGS LOCATED IN ANY LOCAL AGENCY VERY FIRE HAZARD SEVERITY ZONE

UILDINGS LOCATED IN ANY WILDLAND-URBAN ACE FIRE AREA DESIGNATED BY THE ENFORCING

NONE OF THE ABOVE. WUI REQUIREMENTS NOT APPLICABLE

CHICO, CA 95973 PH: (530) 521-2648 ericausmus@qmail.com **MAINTENANCE BUILDING** Ш S **VE** B REGIONA **38**4 Y ם || <u>≂</u>| 09-30-202 DATE: OCT 22, 2019 DESIGNED BY: EDA DRAWN BY: EDA CHECKED BY: EDA SCALE: AS NOTED PROJECT * PAGE OF

SHEET NO.

AU

DEFERRED SUBMITTALS

UPON AWARD OF THIS PUBLICLY BID CONTRACT, CONTRACTOR SHALL HAVE 45 CALENDAR DAYS TO PROCURE METAL BUILDING PLANS AND PROVIDE REACTIONS TO THE STRUCTURAL DESIGNER OF RECORD,

THE STRUCTURAL DESIGN CONSULTANT SHALL HAVE 30 CALENDAR DAYS TO REVIEW THE REACTIONS AND PROVIDE A FINAL STAMPED & SIGNED FOUNDATION PLAN AS A DEFERRED APPROVAL WITH THE CITY.

CONTRACTOR SHALL SUBMIT THE FOUNDATION PLAN TO THE CITY FOR PLAN REVIEW AND CITY APPROVAL.

- METAL BUILDING PLANS & COLUMN REACTIONS FINAL FOUNDATION PLAN
- DESIGN-BUILD ELECTRICAL SINGLE LINE & PANEL SCHEDULE

SHEET INDEX PC NO NAME

<u>r6</u>	<u>IU.</u>	
1	АØ	COVER SHEET
2	A1	SITE PLAN
3	A2	FOUNDATION PLAN
4	AЗ	FLOOR PLAN
5	A4	SECTIONS & FINISHES
6	A5	ACCESSIBILITY DETAILS
7	A6	MEZZANINE PLAN
8	Α7	ELEVATIONS
9	E1	ELECTRICAL PLAN
1Ø	P1	PLUMBING PLAN
11	SD1	FOUNDATION DETAILS
12	SD2	INFILL FRAMING DETAILS
13	SD3	INFILL FRAMING DETAILS
14	55	STRUCTURAL SPECIFICATIONS
15	G1	GREEN BUILDING CODE
16	G2	GREEN BUILDING CODE
17	G3	GREEN BUILDING CODE
18	EN1	ENERGY CALCULATIONS
19	EN2	ENERGY CALCULATIONS
2Ø	EN3	ENERGY CALCULATIONS

SITE

GEOTECH REPORT PROVIDED:

NONE

1) CONTRACTOR SHALL RECOGNIZE AND NOTIFY ENGINEER IF CLAYS OR SOILS, NOT SUITABLE FOR CONSTRUCTION, ARE PRESENT. CONSTRUCTION SHALL NOT CONTINUE WITHOUT APPROVAL OF THE DESIGNER OR ENGINEER OF RECORD.

2) THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL PROPERTY LINES AND CORNERS AND SHALL ENSURE THAT CONSTRUCTION IS WITHIN ALL APPLICABLE SETBACKS AND EASEMENTS.

3) THE ENTIRE AREA TO BE COVERED BY STRUCTURES SHALL BE CLEARED AND GRUBBED TO TO REMOVE SURFACE VEGETATION AS REQUIRED.

4) ALL GRADING SHALL CONFORM TO LOCAL GRADING ORDINANCES. GRADE SURROUNDING ANY BUILDING STRUCTURES SHALL BE SLOPED A MINIMUM OF 5% AWAY FROM THE BUILDING PAD FOR A MINIMUM 10' IN ALL DIRECTIONS TO MAINTAIN SUFFICIENT DRAINAGE. WHERE PHYSICAL OBSTRUCTIONS OR LOT LINES PREVENT THIS, AN ALTERNATE METHOD SHALL BE USED TO DIVERT WATER USING A SWALE OR OTHER APPROVED METHOD.

5) THERE SHALL BE NO UTILITY TRENCHES WITHIN THE INFLUENCE ZONE OF THE FOUNDATION (A 45 DEGREE ANGLE PROJECTING FROM THE BOTTOM OF THE OUTER EDGE OF ANY FOOTING.)

6) CONTRACTOR SHALL PROVIDE A MECHANISM FOR RETAINING SITE DRAINAGE ON THE PROPERTY BY USE OF PERFORATED UNDERGROUND DRAINS TIED TO THE PROPOSED ROOF GUTTERS. PROVIDE 10' CLEARANCE TO EXISTING STRUCTURE.

7) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR BRACING AND SHORING ALL EXCAVATIONS, DEWATERING OF EXCAVATION FROM EITHER SURFACE WATER, GROUND WATER OR SEEPAGE, TEMPORARY AND EXISTING STRUCTURES, AND PARTIALLY COMPLETED PORTIONS OF THE WORK TO ASSURE THE SAFETY OF ANY PERSON COMING IN CONTACT WITH THE WORK.

8) THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SHALL VERIFY ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.

9) NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE PENETRATED UNLESS SPECIFICALLY APPROVED BY THE MANUFACTURER OF THE PRODUCT.

10 WHERE THE GENERAL NOTES AND TYPICAL DETAILS ARE IN CONFLICT WITH ANY SPECIFICATIONS, THE DESIGNER SHALL BE NOTIFIED FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.

11) THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ENGINEER DO NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OF THE PROCEDURES FOR SUCH METHODS OF CONSTRUCTION. ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES WHICH ARE PERFORMED AFTER COMPLETION OF CONSTRUCTION, ARE SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECS: THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISIONS OF CONSTRUCTION.

12) OBSERVATION VISITS TO THE SITE BY THE ENGINEER SHALL NEITHER BE CONSTRUED AS INSPECTION NOR APPROVAL OF CONSTRUCTION.

13) CONTRACTOR SHALL READ AND BE FAMILIAR WITH ALL FACETS OF THE PLANS AND SPECIFICATIONS AND SHALL REQUEST CLARIFICATION AS REQUIRED BEFORE COMMENCING CONSTRUCTION.

14) CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION WHICH IS IN DEVIATION FROM THESE PLANS.

15) CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF ALL MANUFACTURED PRODUCTS, INCLUDING BUT NOT LIMITED TO OSB, T1-11, PARALLAMS AND MICROLLAMS. ALL INSTALLATIONS SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

16) ALL CONDITIONS SHOWN OR NOTED AS EXISTING ARE BASED ON THE BEST INFORMATION CURRENTLY AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS. NO WARRANTY IS IMPLIED AS TO THEIR ACCURACY. CONTRACTOR IS TO FIELD VERIFY ALL CONDITIONS. SHOULD CONDITIONS BECOME APPARENT WHICH DIFFER FROM THE CONDITIONS SHOWN HEREIN THEY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR ENGINEER. THE ARCHITECT OR ENGINEER MAY THEN PREPARE ADDITIONAL DRAWINGS AS MAY BE NEEDED TO ACCOMMODATE THE NEW CONDITIONS.

SITE BMP & EROSION CONTROL BEST MANAGEMENT PRACTICES

- ALL SOILS TRACKED ONTO PAVED ROADWAYS MUST BE CLEARNED UP ON A DAILY BASIS. WHEN STREETS ARE WET OR DURING A RAIN EVENT THERE SHALL BE NO TRACKING OF SOILS ONTO THE STREET.
 STAKE STRAW WATTLES BEHIND CURB OR SIDEWALKS
- 3. PLACE ROCK BAGS (MIN 2 PER SIDE) AT ALL DRAIN INLET LOCATIONS WITHIN 150' OF THE PROJECT SITE
- INSTALL INTERNAL SILT FILTER BAGS IN EACH DRAIN INLET
 STABILIZE ALL DISTURBED SOILS WITHIN 15' OF THE BACK OF CURB OR SIDEWALK. DISPERSE AND TACK-IN STRAW, OR USE VISQUEEN OR EROSION CONTROL BLANKETS.
- 6. ALL PAINT, FUEL, CONSTRUCTION PRODUCTS, ETC SHALL BE STORED IN A COVERED LOCATION AWAY FROM SIDEWALKS AND STORM DRAIN INLETS
- 7. PORTABLE CHEMICAL TOILETS, IF PROVIDED ON THE SITE MUST BE KEPT OFF THE STREETS AND SIDEWALKS AND AT LEASE 50' FROM THE NEAREST STORM DRAIN INLET
- 8. ALL TRASH MUST BE COLLECTED AND STORED PROPERLY. DO NOT LET ITEMS SUCH AS DRYWALL MUD BOXES, PAINT
- BUCKETS, CLEANING MATERIAL CONTAINERS, ETC. COME IN CONTACT WITH ANY RAINFALL OR STORM WATER RUNOFF. 9. PROVIDE A DESIGNATED AREA FOR CONCRETE WASHOUT. HAY BALES LINES WITH VISQUEEN MAY BE USED FOR THIS APPLICATION. ROLLAWAY BINS MAY ALSO BE USED. ALL CONCRETE WASHOUT SYSTEMS SHALL BE PLACED OFF OF THE
- PAVED STREETS 10. AFTER INSTALLATION OF THE ABOVE ITEMS IS COMPLETE, A MAINTENANCE PROGRAM NEEDS TO BE DEVELOPED TO INSURE THE CONTINUED EFFECTIVENESS OF YOUR BMP5

EVC FUTURE LOCATION OF ELECTRIC VEHICLE CHARGING STATION

INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT
RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER).
RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER.

 RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES.
 SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. SERVICE PANEL OR SUBPANEL CIRCUIT

DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".



F OL	JNDATION S	CHEDULI	<u> </u>						
MARK	FOOTING SIZE	FOOTING THICKNESS	BOTTOM REINF EA WAY	TOP REINF EA WAY	ANCHOR RODS	BEARING ANGLE	HAIRPIN TIES	DETAIL	COMMENTS
F1	5'-0" x 5'-0"	30"	(5) - #4		(4) – 3/4" DIA. x 18" EMBED	L2x2x1/4 x 8" LONG	#4 x 15'LEG	1/S1	
F2	5'-0" x 6'-0"	30"	(5) - #4		(4) – 3/4" DIA. x 18" EMBED	L2x2x1/4 x 8" LONG	#4 x 15' LEG	2/S1	
F3	3'-6" x 3'-6"	18"	(4) - #4		(4) – 3/4" DIA. x 8" EMBED			2/S1	
F 4	2'-0" x 2'-0"	18"	(2) - #4		(4) – 3/4" DIA. x 8" EMBED			2/S1	
F5	3'-0" x 3'-0"	18"	(3) - #4	_	_	-	_		
F6	1'-0" CONT.	18"	(1) – #4 CONT.	(1)-#4 CONT.	_	-	_		
FT	1'-6" CONT.	18"	(2)-#4 CONT.	(2)-#4 CONT.				3/S1	
F8	1'-6" CONT.	18"	(2) – #4 CONT.	(2)-#4 CONT.	_	-	_		
F٩	3'-6" x 3'-6"	18"	(4) - #4		(4) – 3/4" DIA. x 8" EMBED	L2x2x1/4 x 8" LONG	#4 x 15' LEG	2/S1	
F1Ø	2'-6" x 2'-6"	18"	(3) - #4		(4) – 3/4" DIA. x 8" EMBED	L2x2x1/4 x 8" LONG	#4 x 15' LEG	2/S1	
NOTES	S:								

1) ANCHOR RODS SHALL BE GRADE A307 AND SHALL UTILIZE HEAVY HEX NUTS. 2) FOOTING DEPTH IS MEASURED FROM THE LOWEST ADJACENT UNDISTURBED NATURAL GRADE OR COMPACTED ENGINEERED FILL. 3) REINFORCING SHALL OCCUR 3" CLEAR OF BOTTOM OF FOOTING, U.O.N. 4) WHERE PAD FOOTING OCCUR AT CONTINUOUS FOOTING, THE CONTINUOUS FOOTING REINFORCING SHALL RUN CONTINUOUS THROUGH THE PAD FOOTING, AND THE REINFORCING IN THE TABLE ABOVE SHALL BE ADDED IN ADDITION TO THE CONTINUOUS FOOTING REINFORCING.



								AUSMUS
	<u>-</u>	FOUNDAT	ION PL	AN L	<u>EGEND</u>			
		FOOTING POST AS I	NOTED ON PL	AN		 ⊠		AUSMUS ENGINEERING 3311 PENZANCE AVE CHICO, CA 95913 PH: (530) 521-2648 ericauemus@gmail.com
	S	SHEAR WA	LL AN	D HO	LDOWN	LEGE	ND	
		INDICATE	ES SHEARWAL IEDULE THIS	-L TYPE & SHEET	LENGTH			
		INDICAT SEE SC	ES HOLDOWN HEDULE BELO	TYPE W				DING
	S 1) HE LA 2) PL 3) HC M/ 4) BC AN PL	LAB FLOO SEE SITE PLAN AND RE. VERIFY ALL FLA NDINGS SHALL BE ALL FOUNDATION AN ATE WASHERS, TYP EXTEND FOOTING DI DLOOWN ANCHOR BOL AINTAINED FOR A MIN FOR NON-SHEARWAN DLTS AT A MAXIMUM NCHOR BOLTS PER S ATE. REFER TO SHE	R GEN D/OR FLOOR PL T WORK WITH 36"X36" SQUA NCHOR BOLTS ICAL. EPTH TO MAIN T WHERE OCC NIMUM OF 6" (LLS, PROVIDE SPACING OF ILL, WITH (1) E ARWALL SCHE	ERAL AN FOR W/ CLIENT PR ARE AND S SHALL HA STAIN 3" M CURS. THE ON ALL SID MINIMUM 5 6'-Ø" O.C. 30LT WITHI	NOTES ALKS, STOOPS, RIOR TO INSTALL LOPED BETWEEN VE 3"X3"X0.2290 IN. CLEARANCE FOOTING DEPTH DES OF THE ANC 5/8" DIA. X 7" EN PROVIDE A MINI IN 1'-0" OF EACH REQUIREMENTS	ETC. NOT SH ATION. ALL N 1% AND 2% 6" THICK SQ BETWEEN S SHALL BE CHOR BOLT. MBED ANCHO MUM OF (2) END OF THE THAT APPL	IOWN UARE OIL & VR E SILL Y TO	MAINTENANCE BUI FOUNDATION P
	5) 5) E NC BL PR TC W2 6) 7) 51	HEARWALLS SLAB ON GRADE: 5" THICK CONCRETE SLAB), OVER 4" OF C PENETRATION THROU AREAS), BARRIERCRE THE SLAB. DTE: WELDED WIRE MESH JILDING CODE REQUIRE REVENTING/REDUCING S O STANDARD REBAR RE 2.9 X W2.9 WIRE MESH VERIFY LOCATION O CONTRACTOR SHALL PACING IN ANY DIRE	SLAB, W/ #4 B ELEAN CRUSHED IGH THE SLAB ETE (OR EQUIVA H REINFORCING MENTS, IS GEN SLAB CRACKS I INFORCING. KNI SHEET ALTERN F PLUMBING LOCATE CON CTION SHALL	ARS AT 18" O GRAVEL, (IS A CONCE ALENT) MOIS , WHILE ACC NERALLY CO DUE TO SUE OWING THIS ATIVE, IF DI FIXTURES TROL JOIN NOT EXCE	O.C. EACH WAY (DVER SUB-GRADE. ERN (AS TYPICAL STURE REPELLENT CEPTABLE ACCORI INSIDER LESS EFF GRADE SETTLEN G, THE OWNER MAY ESIRED. TS AS REQUIRE ED 15'.	AT MID-DEPTH WHERE MOIS IN CONDITION MAY BE USE DING TO MINII ECTIVE AT MENT, AS COM Y OPT FOR TH D (MAXIMUM	I OF DTURE IED ID IN MUM IPARED E 6X6	REGIONAL HOUSING AUTHORITY 384 MILLES AVE YUBA CITY 95993
	E SHEATHING CA	IEARW	ALL S NG MIN. FRAM	SCH 11NG 61ZE , , 6TUD6, 4	ANCHOR BOLTS	L E		
NOT 1) EM 2) 6H 10CR 3) MII 4) AN 3"x3" 11) AL LENG	ES: BEDMENT IS MEASU EARWALL LENGTHS EASED FOR CONSTR NIMUM HOOK LENGT ICHOR BOLTS SHAL XØ229" PL WASHER L NAILS SHALL BE I NAILS SHALL BE	RED FROM THE TOP OF T SHOWN ON THE PLANS AF RUCTION CONVENIENCE. R H FOR ANCHOR BOLTS SH L BE 12" LONG TYPICAL, (OR SIMPSON BP), MINIM COMMON NAIL. "SHORT" N ' PLUS THE THICKNESS OF	HE FIRST CONCR RE MINIMUMS AS EFER TO ARCH'L JALL BE 2". UNLESS NOTED C UM, TYPICAL. JAILS SHALL BE THE SHEATHING.	ETE POUR REQUIRED B DRAWINGS F DTHERWISE, A THE SAME DI	Y CALCULATION, AN OR ACTUAL WALL L LL ANCHOR BOLTS AMETER AS COMMC	ID MAY BE ENGTHS. REQUIRE IN NAILS BUT A		PROFESS/01/4/ FRIC D. AUSMUS No. 65286 09-30-2021 ★ OF CALLFORMING
MAIN								DATE: OCT 22, 2019
H	OLD	OWN	SCH	IEL	DULE			DESIGNED BY: EDA DRAWN BY: EDA
DESCRIPTION	FAS	BTENERS	BOUNDARY MEMBER	CAPACIT (LBS)		OLDOWN		CHECKED BY: EDA GCALE: AS NOTED
HDU4	1Ø-1/4"ø x 3"	LONG SDS SCREWS	DBL 2x	4,565	SSTB16	SSTE	32Ø	PROJECT *
: S: VIDE 12" DIAME ED TO ACHIEVE VIDE PANEL ED	DS AT HOLDOWN IER (OR SQUARI E 3" SOIL CLEAF DGE NAILING AL(S TOGETHER WITH 160 E) DEEPENED CONCE RANCE. ONG THE FULL HEIGHT	d COMMONS 8' RETE ZONE UNI OF MEMBER	DER HOLDO ATTACHED	- HEIGHT OF STUDS DWN ANCHORS (S TO HOLDOWN.	' 36TB'\$) AS		PAGE OF 3 SHEET NO.

5) POSTS AS REQUIRED BY THE HOLDOWN SCHEDULE MAY NOT BE SHOWN ON THE PLANS. USE LARGER MEMBER SHOWN

A2



SHOP 718 SQFT MEZZANINE

1,298 SQFT

Address Numbers: Approved address numbers, building numbers or approved building identification shall be placed in a position that is plainly legible and visible from the street, road, alley, and walkways giving access to and within the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of six (6) inches (152 mm) high with a minimum stroke width of 0.5 inch (12.7 mm) and shall be illuminated in an approved manner (if numbers are on the exterior). Number height and stroke width shall be increased as needed for legibility based on

Fire Extinguishers: Provide a fire extinguisher (minimum 2A-10BC) within a recessed or semi-recessed cabinet within 75 feet travel distance from all points in the occupancy; the extinguisher shall be mounted on a hook within the cabinet (elevated off cabinet floor); the top of the extinguisher shall be no higher than 48 inches (1219 mm) above the floor; extinguisher shall be placed in a easily accessible locations where they will be readily accessible and immediately available for use.

Emergency lighting: Emergency lighting shall comply with the provisions of current CBC 1008. The means of egress illumination shall not be less than one (1) foot-candle at the walking surface level. In the event of power supply failure, an emergency electrical system shall automatically illuminate all areas per code.

Exit Signs: Exit signs shall be readily visible from any direction of egress travel, be illuminated at all times and comply with provisions of the current CBC

Door operations: All exit doors shall be openable from the inside without key, special knowledge, or effort. The unlatching of any exit door shall not require

Locks and Latches: The locking device for the main exterior exit door(s) shall be readily distinguishable as locked. Door shall also have a visible durable sign stating: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." The sign shall be in letters one inch high on contrasting background (above the door); posted on the egress side or adjacent to the door."

28'

11'-4"

CODE ANALYSIS SYMBOLS

2X4 STUDS AT 16". USE 2X6 AT PLUMBING WALLS. NEW 2-LIGHT LED EMERGENCY LIGHTING W/ 90 MIN BATTERY INTERCONNECTED WITH (E) FIRE ALARM SYSTEM. LITHONIA ELM2 LED M12 QUANTUM OR EQUAL (80 LUMENS)

5-FOOTCANDLE ILLUMINATED EXIT SIGN WITH EXIT SUPPLEMENTAL LED LIGHTS. HARDWIRED WITH 90-MIN BATTERY BACKUP

ALLOWABLE SF PER OCCUPANT (PER CBC TABLE 1004.1.2) 200 SF / OCC. OCCUPANT LOAD

1 EXIT NUMBER OF EXITS REQUIRED (PER CBC 1006)

- T TACTILE EXIT SIGNAGE PER CBC 1011.3 EXIT SHALL BE IDENTIFIED WITH THE WORD "EXIT"
- PROVIDE UL LISTED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR. BATTERY POWER, HARDWIRED AND INTERCONNECTED

1.00 KEYNOTE LEGEND

5

- 1.01 MAIN PUBLIC EXIT DOOR IS PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED, A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING, "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". THE SIGN SHALL BE IN LETTERS 1" HIGH WITH CONTRASTING LETTERS. PANIC HARDWARE NOT REQUIRED FOR GROUP E OCCUPANCY PER CBC 1010.1.10
- 1.02 INSTALL 6" SQ UNIVERSAL ACCESSIBILITY STICKER OR SIGN AT ENTRANCE. MOUNT CENTER OF SIGN 60" AFF. INSTALL ADJACENT TO DOOR ON THE LATCH SIDE.
- 1.03 INSTALL ALL-GENDER SIGN PER DETAIL B/P1 1.04 INSTALL CALIFORNIA ACCESSIBLE DRINKING FOUNTAIN WITH BOTTLE FILLER. SEE SHEET P1
- 1.05 NEW WOOD STAIRS. 7" MAX RISE 12" MIN TREAD. SEE STRUCTURAL DRAWINGS

TEMPERED WINDOWS

- 1. ALL GLAZING WITHIN 60" FROM THE BOTTOM OF
- STAIR LANDINGS SHALL BE TEMPERED 2. ALL GLAZING WITHIN 24" OF A DOOR, INCLUDING
- ITS SWING SHALL BE TEMPERED
- 3. ALL GLAZING WITHIN 60" FROM THE WATER'S EDGE OF A BATHTUB
- 4. IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS
- 5. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60", MEASURED VERTICALLY ABOVE THE STANDING OR WALKING
- SURFACE 6. EXPOSED AREA OF AN INDIVIDUAL PANE LARGER THAN 9 SQFT.
- 7. BOTTOM EDGE IS LESS THAN 18" ABOVE FF 8. ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A
- STRAIGHT LINE OF GLAZING 9. WITHIN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NON-STRUCTURAL IN-FILL ANELS, REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE

CLASS-A, TYPE 2-A10BC STREAM LOADED FIRE EXTINGUISHER. LOCATE SUCH THAT THE TRAVEL DISTANCE TO THE APPARATUS DOES NOT EXCEED 75 FEET. MIN. 1 EXTINGUISHER EA. 3,000 SQ. FT.

AT EACH LOCATION AS INDICATED ON THE PLAN WITH THIS SYMBOL A PORTABLE FIRE EXTINGUISHER. PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE. THESE LOCATIONS SHALL BE ALONG NORMAL PATHS OF TRAVEL. FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 LBS SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR. HAND-HELD FIRE EXTINGUISHERS EXCEEDING 40 LBS SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF INSTALLED HAND-HELD EXTINGUISHERS SHALL NOT BE LESS THAN 4 INCHES. REFER TO CFC 906 FOR ADDITIONAL REQUIREMENTS.







													[
																DOOR	INFORMATION]	FRAME			HARDWAR	E/SIGNAGE			
				WINDO	JW INFUR	MATION				GLAZING		NOTES								THICK-		NORG				DORATO	NOTES
KEY QT	Y WIDT	TH HEIGH	IT SIL FINISH	I MANUF	MODEL	MATERIAL	OPERATION	FINISH/COLOR	THICKNE	SS COLOR	U-VALUE VLT		MAKI		AME(S) HANI	D SIZE	STILE/MUDEL/OPTIONS	MATERIAL/FINISH	MATERIAL	NESS	FINISH HI	NGES	CONTROLS	LUCES CLUSER	THRESHUL	D SEALS	NOIES
2 (A)	48"	36"	P-3	LOCALLY	LOCALLY SOURCED	METAL	SLIDER	DARK BRONZE ANNODIZED FINISH	1/4" H	CLEAR		REFER TO ATTACHED ENERGY CALCS	1001	MAIN ENT SECOND	RY & RT	3'-0" x 6'-8" X 1-3/4"	18 GAUGE METAL FLUSH W HALF GLASS TEMPERED GLASS PANEL	PAINT-3	16 GA WELDED METAL FRAME	2"	PRIME & PAINT TO MATCH DOOR	3 5A	SCHLAG AL SERIES AT 626 W/ PANIC BAR	DEAD BOLT	PEMCO P-157A / FINISH	ALUM. PEMKO S88	QTY OF 2. REFER TO EXIT PLAN I SIGNAGE
B 1	60	36	P-3	LOCALLY SOURCED	LOCALLY SOURCED	METAL	FIXED	DARK BRONZE ANNODIZED FINISH	1/4" SAFET GLAZING	TY CLEAR		REFER TO ATTACHED ENERGY CALCS		HALI	L RT	3'-0" x 6'-8" X 1.375"	SOLID CORE WOOD FLUSH W HALF GLASS TEMPERED GLASS PANEL	7 PREFINISHED PLAIN SLICED CHERRY OR RED OAK	PRE-HUNG		PRIME & PAINT TO MATCH DOOR	3		LEVER LCN-501			STAINLESS STEEL TOE PLATE
1	36"	36"	P-3	LOCALLY SOURCED	LOCALLY SOURCED	METAL	FIXED	DARK BRONZE ANNODIZED FINISH	1/4" SAFET I GLAZING	TY CLEAR		REFER TO ATTACHED ENERGY CALCS	1003	BREAKROON	1/ SHOP RT	3'-0" x 6'-8" X 1-3/4"	18 GAUGE METAL FLUSH W HALF GLASS TEMPERED GLASS PANEL	PAINT-3	16 GA WELDED METAL FRAME		PRIME & PAINT TO MATCH DOOR	3		LEVER LCN-501			1-1/2 HOUR FIRE RATED DOOR ASSEMBLY
2 (D)	72"	48"	P-3	LOCALLY	LOCALLY SOURCED	METAL	SLIDER	DARK BRONZE ANNODIZED FINISH	1/4" SAFET GLAZING	TY CLEAR		REFER TO ATTACHED ENERGY CALCS	(1004)	SHOP MAI	NDOOR LT	3'-0" x 6'-8" X 1-3/4"	18 GA HOLLOW METAL	PAINT-3	16 GA WELDED METAL FRAME	2"	PRIME & PAINT TO MATCH DOOR	3 SC SA	CHLAG AL SERIES AT 626 WITH KEY	DEAD BOLT LCN-5016	PEMCO P-157A / FINISH	ALUM. PEMKO 588	BREAKROOM DOOR SIGNAGE
	I	I	I	1	I		ſ		I	I			1005	JANITOR C	CLOSET LT	2'-4" x 6'-8" X 1.375"	HOLLOW CORE WOOD 6-PANEL	PAINT-1	PRE-HUNG	-	PRIME & PAINT TO MATCH DOOR	2		LEVER W/ LOCK			JANITORIAL DOOR SIGNAGE
													(1006)	UNISE	X 1 LT		SOLID CORE WOOD FLUSH	STAIN-1	PRE-HUNG	-	PRIME & PAINT TO MATCH DOOR	2		LEVER W/ LOCK	-		
													1007	UNISE	X 2 RT		SOLID CORE WOOD FLUSH	STAIN-1	PRE-HUNG	_	PRIME & PAINT TO MATCH DOOR	2		LEVER W/ LOCK	-		REFER TO DETAIL U ON A1.2
													1008	> OFFICE	#2 LT	2'-8" x 6'-8" X 1-3/4"	SOLID CORE WOOD FLUSH W TEMPERED GLASS PANEL	STAIN-1	16 GA WELDED METAL FRAME	-	PRIME & PAINT TO MATCH DOOR	3 SC SA	CHLAG AL SERIES AT 626 KEYLESS	LEVER W/ LOCK			
													(1009)	> OFFICE	#1 RT	2'-8" x 6'-8" X 1-3/4"	SOLID CORE WOOD FLUSH W TEMPERED GLASS PANEL	STAIN-1	16 GA WELDED METAL FRAME		PRIME & PAINT TO MATCH DOOR	3 SC SA	CHLAG AL SERIES AT 626 KEYLESS	LEVER W/ LOCK			
													(1010)	OFFICE	#2	6'-Ø" x 6'-8"	DUAL PANE TEMPERED W/ CLEAR GLAZING		VYNL					LEVER LOCK			





GENERAL NOTES

REFER TO FLOOR & EXIT PLAN FOR ADDITIONAL SIGNAGE NOT SHOWN HERE REFER TO DETAIL 2/P1 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

KEYNOTE LEGEND



1.00 INSTALL 6" SQ UNIVERSAL ACCESSIBILITY STICKER OR SIGN AT ENTRANCE. MOUNT CENTER OF SIGN 60" AFF. INSTALL ADJACENT TO DOOR ON THE LATCH SIDE. INSTALL ALL-GENDER SIGN PER DETAIL B/P1

GRANITE COUNTER TOPS WITH UPPER AND LOWER CABINETS. PROVIDE SAMPLES TO OWNER AND OBTAIN CABINET DESIGN FOR APPROVAL.

FINISH LEGEND									
CALLOUT	MFGR/MODEL/SHEEN	COLOR							
TILE	TO 48" ABOVE FINISHED FLOOR. DALTILE HEATHLAND SERIES 12"X12"C CERAMIC TILE W/ 3"X12" BULLNOSE P-43C9, 6X12 COVE BASE P-36C9TB	ASHLAND HLØ5 GROUT: CHARCOAL #60							
FRP	FIBERGLASS REINFOCRCED WALL PANELING 4'X8'X0.090"	WHITE							
P-1	SHERWIN WILLIAMS OVATION INTERIOR LATEX PAINT, EGGSHELL	SW 7004 SNOWBOUND							
P-2	SHERWIN WILLIAMS OVATION INTERIOR LATEX PAINT, SEMI-GLOSS	SW 7004 SNOWBOUND							
P-3	SHERWIN WILLIAMS OVATION INTERIOR LATEX PAINT, SEMI-GLOSS	SW 7037 BALANCED BEIGE							
RB	BURKEBASE 6" RUBBER WALL BASE	BLACK							
STAIN1	SHERWIN WILLIAMS SHER-WOOD STAIN W/ WATER WHITE CONVERSION VARNISH, DULL RUBBED EFFECT V84F83	CINNAMON S64NØØ5Ø2							



CBC CHAPTER 11B - ACCESSIBILITY TO PUBLIC BUILDINGS	11 B – 219.3: The minimum number of receiver
11B-103: Nothing in these requirements prevents the use of designs,	total number of seats, but in no case less than two. 25% provided, but no fewer than two, and shall be hearing aid
substantially equivalent or greater accessibility and usability.	11 B – 221. Assembly area seating 11 B – 221.1: Assembly areas shall provide who seats, designated aisle seats, and semi-ambulant seats of
11B-201.4: These requirements shall apply to temporary or permanent construction support facilities for uses in activities not directly associated with actual process of construction When provided, toilet and bathing facilities	- 221 and 11 B - 802 11 B - 229. Windows
serving construction support facilities shall comply with section 11 B – 213. Exception: During construction and accessible route shall not be require	11 B – 229.1: Where glazed openings are provi spaces for operation by occupants, at least one opening
to the construction support facilities if the only means of access between them is vehicular way not providing pedestrian access.	a 11 B – 247 Detectable warnings
11 B- 202: Existing buildings:	11B-247.1.2.1: <u>Platform edges</u> . Shall comply w 11B-705.1.2.2 11B-247.1.2.2: Curb rampo, Shall comply with 9
11 B – 202.4: Provide an accessible path of travel to the specific are of alteration or addition. The primary accessible path of travel shall include:	a 11B-705.1.2.2 11B-247.1.2.3: <u>Islands or cut-through median's</u>
 A primary entrance to the building or facility. Toilet and beating facilities serving the area. Drinking fountains copying the area. 	11B-705.1.1 and 11B-705.1.2.3
4. Public telephones serving the area. Note Section 1 B – 217, Not required if public telephones are not provided.	1 11B-302.2: Carpet shall be securely attached. loop, textured loop, level cut pile, level cut/uncut pile text
5. Signs. <u>Exceptions to 11B-202.4 (Accessible Path):</u> 1. Residential dwelling units shall comply with Section 11 B-233 4 2	half inch maximum. Exposed edges shall be fastened to trim on the entire length of the exposed edge. Carpet ed Section 11 B – 303
2. Path of travel elements constructed in compliance with the immediate preceding edition of CBC shall not be required to be retrofitted to reflect the	of a sphere more than one half inch diameter except as a
by those elements. 3(a). Altering one building entrance.	a 407.4.3. (Platform to waste away your). 11 B – 303 Changes in level
3(b). Altering one existing toilet facility. 3(c). Altering existing elevators. 3(d). Altering the existing stops	11 B – 303.2: Vertical changes in level of <u>1/4 in</u> permitted to be vertical and without edge treatment. 11 B – 303 3: Changes in level between 1/4 inc
3(e). Altering existing handrails.4. Alterations solely for the purpose of barrier removal pursuant to the	high maximum shall be beveled with the slope not steepe 11 B – 303.4: Changes in level greater than 1/2
requirements of ADA or CalDAG shall be limited to the scope of work. (See 11B-204.4 for itemized list) 5. Resurfacing or restriping of (E) parking lot.	and shall comply with Section 11 B – 405 or more 11 B – 11 B – 303.5: Abrupt changes in level exceedin dimension between walks, sidewalks or other pedestrian
 The addition or replacement of signs and/or identification devices. Projects consisting only of HVAC, reroofing, electrical work not 	shall be identified by warning curbs at least 6 inches in he sidewalk surface. <i>Exception:</i>
8. (See 11B-202.4 Hardship Exception)	adjacent street or driveway.
11B-203. General Exceptions 11B-203.2: <u>Construction sites</u> . Structures directly associated with the process of construction shall not be required to comply (eq. scaffelding, bridging	11 B – 304 Turning space 11 B – 304.2: Turning spaces shall not be slope 11 B – 304.3. 1: Circular turning space shall be
materials hoist, materials storage and construction trailers). 11B-203.4: Limited access spaces. Spaces not customarily occupied	minimum. The space shall be permitted to include knees with Section 11 B – 306.
and accessed only by letters, catwalks, crawlspaces, or very narrow passageway shall not be required to comply. 11B-203,5: Machinery spaces. Spaces frequented only by service	s 11 B – 304.3 .2: <u>T–Shaped turning space</u> shal square with minumum 36 inch wide arms and leg. Arms 12 inches bevond the leg on each side, and the leg shall
personnel for maintenance, repair or occasional monitoring of equipment shall no be required to comply.	t inches below the arms. Ends of the arms and leg shall b told clearance complying with Section 11 B – 306.
11B-206 Accessible Routes 11B-206.2.1: Site arrival points. At least one accessible route shall be	11 B – 304.4: Doors shall be permitted to swing 11 B – 306.2 Toe clearance
provided from accessible parking spaces and accessible passenger loading zones: public streets and sidewalks; and public transportation stops to the	11 B – 306.2 .1: Toe space shall extend a minir finish floor.
11B-206.2.2: At least one accessible route shall connect accessible buildings, accessible elements and accessible spaces that are on the same site.	element. 11 B – 306.2.3: Toe clearance shall extend 25 element. 11 B – 306.2.3: Toe clearance required as a pa
11B-206.2.3: <u>Multi-story buildings and facilities</u> . At least one accessible route shall connect each story and mezzanine in multistory buildings.	extend 17 inches minimum under the element. See Exceptions to Section 11 B – 306.2.3, and 11 – 306.2.5: Told elements elements
11B-206.3: Location. Accessible Routes shall coincide with or be located in the same area as general circulation paths. An accessible route shall	not 11 B - 306.3 Knee clearance: See CalDAG Figure
pass through kitchens, storage rooms, restrooms, closets or other spaces for similar purposes. 11B-206.4: Entrances: Entrances shall be on an accessible route	11 B – 306.3 .5: Knee clearance shall be 30 inc 11 B – 307 Protructing objects: See CalDAG Figu
11B-206.1: All entrances and exterior ground-floor exits to buildings shall comply with section 11 B – 404.	11 B – 308 Reach ranges: See CalDAG Figure 30
Exceptions to 11B-206.1: 1. Exterior ground-floor exits serving smoke proof enclosures, stairwells, and exit doors serving stairs only shall not be required to comply.	11 B – 402 Accessible routes 11 B – 402.2: Accessible routes shall consist of
2. Exits in excess of those required by chapter 10, and which more than 24 inches above grade shall not be required to comply. Such doo, shall have warning sizes complying with section 11.9.702.5. Interference	are components: walking surfaces with a running slope not s compliant doorways, ramps, curb ramps (excluding the fill
snan nave warning signs complying with section 11 B – 703.5, stating that they a not accessible. I wasn't I was working	11 B – 403 Walking surfaces
11 B – 207.Accessible means of egress.11B-207.1:Means of egress shall comply with Chapter 10, Section 100	11 B – 403.3: The running slope of walking surfaces shall not l than 1:20. The cross slope of walking surfaces shall not l
11B-208. Parking spaces 11B-208.2: <u>Minimum number</u> . Parking spaces shall be provided in	established for the adjacent street or highway. 11 B – 403.5.1: Except as noted in section 11 E
accordance with table 11 B – 208.2. 11B-208.2.4: <u>Van parking spaces</u> . For every six or fraction of six parking spaces, at least one shall be a Van parking space	g turns, and width of passing spaces), clear width of walkin minimum. (See CalDAG Figure 403.5.1)
11B-208.3.1: <u>Location</u> . Accessible parking spaces shall be on the shortest accessible route from parking to a compliant entrance. Where parking	1. The clear with may be reduced to 36 "minimum maximum provided that reduced with segments are separated
serves more than one accessible entrance, spaces shall be disbursed and locate on the shortest accessible route to the accessible entrances.	a 2. With four walking surfaces and core doors se or more shall be 44 inches minimum. 3. The clear with four sidewalks and walks shall
11B-209. Passenger loading zones and bus stops 11B-209.2.1: Passenger loading zones. At least one compliant loading zone shall be provided in every continuous 400 lineses for the linese	right-of-way restrictions, natural barriers, or other existing agency determines that compliance with the 48 inch clea
or fraction thereof.	<i>an unreasonable narosnip, the clear with may be reduce</i> <i>4. The clear with for aisles shall be 36 inches m</i> on only one side, and 44 inches minimum if serving elem
11B-213. Toilet rooms and bathing rooms. 11B-213.2: Where toilet rooms and bathing rooms are provided, each toilet room shall comply with section 11 B – 603	11 B – 403.5 .3: An accessible route with a clear provide passing spaces at intervals of 200 feet maximu either a space 60 inches minimum by 60" minimum or on
Exception to $11 \text{ B} - 213.2$: 1. In alterations where it is technically infeasible to comply, altering	surfaces providing a T-shaped space complying with sec 11 B – 403.7: All walks with continuous gradien
existing toilet or bathing rooms shall not be required where a single unisex toilet room or bathing room is provided and located in the same area and on the same floor as existing in accessible toilet or bathing rooms	in length at intervals of 400 feet maximum resting areas s lock the slope of the resting area in all directions shall be
4. Where multiple single user toilet rooms are clustered in a single location, 50%, but no fewer than one of the single-user toilet rooms at each clust	er 11 B – 404 Doors, doorways, and Gates Exception: Doors, doorways, and Gates design
shall be compliant. 11B-213.2.1: <u>Unisex toilet and unisex baiting room.</u> Unisex toilet room shall contain not more than one laboratory, and not more than two water closets	security personnel shall not be required to comply. A signs site complying with section 11 B – 703.5 shall be posted controlled by security personnel".
without urinals or one water closet and one urinal. 11 B – 213.3: <u>Plumbing fixtures and accessories.</u> 11B – 213.2 I. Tailet comparison	11 B – 404.2.1: Revolving doors, gates, and t accessible route.
Where less than 6 toilet compartments are provided, at least one toilet compartment shall comply with Section 11 B – 604.8 .1.	11 B - 404.2.2; Double leaf doors and gates. of doorways with two leaves shall comply with Sections 1 404.2.4
Where six or more toilet compartments are provided, or where the combination of urinals and water closets total six or more, at least one compartment shall comply with Section 11 B _ 504.9 2	= 11 B – 404.2 .3: Door openings shall provide a minimum. Clear openings of doorways this doors shall l
at least one shall comply with section 11 B – 604.8 .2. 11B-213.3.2: <u>Water closets</u> . Where water closets are provided at least one shall comply with section 11 B – 604.	or the door and the stop, with the door open 90°. Openin shall provide a clear opening of 36 inches minimum. The the required openings lower than 34 inches above the fir
11B-213.3.3: <u>Urinals</u> . Where one or more urinals are provided least once shall comply with Section 11 B – 605.	at clear opening with above 34 inches and less than 80 incl ground shall not exceed 4 inches.
5% but no fewer than one shall comply with Section 11 B – 606. 11B-213.3.5: <u>Mirrors</u> . Where mirrors are provided at least one	1. In alterations, a projection of 5/8 inch maxima width shall be permitted for the latch side stop.
shall comply with Section 11 B – 603.3. 11B-213.3.6: <u>Bathing facilities</u> . 11B-213.3.7: <u>Coatbooks and shalves in toilet rooms</u>	2. Door closers in doorstops shall be permitted above the finish floor or ground. 11 B – 404 2 4: Maneuvering clearances
11 B – 214. Washing machines and clothes dryers: Where three	or $11 \text{ B} - 404.2.4$. Water overing creatances. See
fewer washing machines and/or clothes dryers are provided, at least one shall comply with Section 11 B $-$ 611. Where more than three are provided, at least two shall comply with section 11 B $-$ 611.	pulling open a door or gate other than fire doors shall be force required to open fire doors shall not exceed 15 por Excentions
11B – 215. Fire alarm systems	 Exceptions: 1. Exterior doors to machinery spaces. 2. When it a single location, if one of every eight
11 B – 215.2: alarms in public use areas in common use areas shall comply with Chapter 9, Section 90 7.5.2.3.1. Exception: In existing facilities, visible alarms shall not be required exce	powered door, other exterior doors at the same location space may have a maximum opening force of 8.5 pound pt located closest to the accessible route
where the existing fire alarm system is upgraded or replaced, or a new fire alarm system is installed.	11 B – 404.2 .10: Swinging door and gate surface on push finish floor vertically shall have a smooth surface on push
11 B – 216. Signs 11 B – 216.1: Signs shall comply with Section 11 B – 703	of the door. Parts creating horizontal or vertical joints in 1/16 inch of the same plane and be free of sharp or abra
D = 2 + 0.7, signs shall comply with section 11 D = 703.	11 B – 405 Ramps 11 B – 405.2: Slope. Ramps shall have a slope
See Exception: to 11 B – 216.	11 B - 405 3 Cross slope shall not be steeper
See Exception: to 11 B – 216. 11 B – 217. Telephones 11 B – 217.1: Where pay telephones are provided, accessible telephones shall be provided in accordance with Section 11 B – 270	11 B – 405.5; The clear width of a ramp shall b Handrails may project into the required width 2.10 inches
See Exception: to 11 B – 216. 11 B – 217. Telephones 11 B – 217.1: Where pay telephones are provided, accessible telephones shall be provided in accordance with Section 11 B – 270. 11 B – 219. Assistive listening systems	11 B – 405.5: The clear width of a ramp shall b Handrails may project into the required width 3 1/2 inche height. Exception: The clear width of ramps in residen



FLOOR BEAM SCHEDULE										
BEAM I.D.	SIZE	SUPPORT LEFT/BOTTOM	SUPPORT TOP/RIGHT	COMMENTS						
FBØI	3.5x18 PSL	4x4 LSL	4x4 LSL							
FBØ2	3.5x14 PSL	4x4	4x4 LSL							
FBØ3	4x12 DF. #2	DBL 2×4	DBL 2X4	ST2215 STRAP AT BEAM SPLICE AT ABUTTING BEAMS						
NOTES: 1. REFER TO SHEAR WALL AND HOLDOWN SCHEDULES FOR POSSIBLE GOVERNING POST REQUIREMENTS. 2. ALL POSTS ARE DF#2 U.O.N. DEFINITIONS:										

B.O.B = BOTTOM OF BEAM T.O.P. = TOP OF BEAM T.O.T.P. = TOP OF TOP OF PLATE HGR = HANGER GLB = GLULAM BEAM 1.8E FL = FLUSH LSL = TIMBERSTRAND BEAM 1.5E DB = DECK BEAM



FLOOR BI	EAM SCI	HEDULE
----------	---------	--------

PSL = PARALLAM BEAM 2.0E LVL = MICROLLAM BEAM LVL 1.9E FB = FLOOR BEAM RB = ROOF BEAM







2 RIGHT ELEVATION A6 ELEVATION

-		
		REMARKS
	μ	
	-	16 GPF MAX PER GREEN CODE
	1/2	SEE FIXTURE DETAIL
	3/4	RHEEM XE40M06ST45UI 40 GAL. ELECTRIC 240v 4500 WATT
	1/2	FLORESTONE SR-1 SINK IN BREAKROOM WITH 100DST DELTA FAUCET
	1/2	SEE FIXTURE DETAIL
	-	SEE FIXTURE DETAIL
	1/2	FLORESTONE MODEL MSR-2424 MOLDED MOP SINK WITH MR-371 FAUCET
~	1/2	LOCALLY SOURCED

1/2" FIXTURE

WATER SUPPLY LEGEND

EXISTING

____ W ___ W ___ W ____

NEW

COLD WATER ----- W ---- W ----- W -----

HOT WATER

OVERHEAD

WATER SUPPLY GENERAL NOTES

HOT AND COLD WATER: USE TYPE L COPPER TUBING, HARD TEMPER WITH WROUGHT COPPER FITTINGS. CAPPED OR PLUGGED OUTLETS SHALL BE SCHEDULE 40 SCREWED BRASS. PROVIDE FULL SOLDER CUP FITTINGS.

PLUMBING NOTES

- 1. ALL PLUMBING VENTS SHALL BE 10' AWAY FROM ALL HVAC OUTSIDE AIR INTAKES UNLESS THE VENT OUTLET IS 3' ABOVE THE OUTSIDE AIR INTAKE
- 2. ALL SANITARY WASTE PIPING SHALL SLOPE AT I" PER FOOT MINIMUM
- 3. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE
- 4. WATER HEATERS 4.1. WATER HEATERS SHALL BE INSTALLED ON A RAISED PLATFORM A MINIMUM OF 18" ABOVE GRADE
- 4.2. PROVIDE A 120V ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE WITH NO OBSTRUCTIONS
- 4.3. PROVIDE A CATEGORY III OR IV VENT, OR TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED
- 4.4. WATER CLOSETS SHALL BE SET NO CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION, NOR CLOSER THAN 30" CENTER TO CENTER TO A SIMILAR FIXTURE PER CPC 402.5

2.09

60" FROM FLOOR TO CENTER OF

b. FOR BACK TO BACK INSTAL USE ONLY 45 DEGREE WYE

c. K-8998 P-TRAP

2 RESTROOM FIXTURE DETAIL P1/PLAN

1/4"=1'

a

ALL-THREAD ANCHOR

NOT TO SCALE

NOT TO SCALE

F SINGLE LAYER REINFORCING BARS

GENERAL

- 1) ALL CONSTRUCTION SHALL CONFORM TO: - 2016 CALIFORNIA BUILDING CODE (C.B.C)
- 2016 CALIFORNIA REGIDENTIAL CODE (C.R.C.)
- 2015 NATIONAL DESIGN SPECIFICATIONS (NDS)
- TMS 402-11/ACI 530-11/ ASCE 5-11 - ACI 318-14 AND REVISIONS
- APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS

2) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR BRACING AND SHORING ALL EXCAVATIONS, DEWATERING OF EXCAVATION FROM EITHER SURFACE WATER, GROUND WATER OR SEEPAGE, TEMPORARY AND EXISTING STRUCTURES, AND PARTIALLY COMPLETED PORTIONS OF THE WORK TO ASSURE THE SAFETY OF ANY PERSON COMING IN CONTACT WITH THE WORK.

3) ALL A.S.T.M. SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE AS AMENDED TO DATE.

4) STANDARD DETAILS AND GENERAL NOTES ARE TYPICAL AND SHALL APPLY UNLESS OTHERWISE NOTED OR SHOWN, DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE THE SAME NATURE AS SHOWN FOR SIMILAR CONDITION.

5) THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SHALL VERIFY ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.

6) NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE PENETRATED UNLESS SPECIFICALLY APPROVED BY THE MANUFACTURER OF THE PRODUCT.

1) WHERE THESE GENERAL NOTES AND TYPICAL DETAILS ARE IN CONFLICT WITH ANY SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.

8) THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ENGINEER DO NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OF THE PROCEDURES FOR SUCH METHODS OF CONSTRUCTION. ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES WHICH ARE PERFORMED AFTER COMPLETION OF CONSTRUCTION, ARE SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECS + THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISIONS OF CONSTRUCTION.

ALL ELEVATIONS ARE REFERENCED FROM TOP OF FINISH GROUND FLOOR ELEV. = 0'-0", U.O.N.

10) ANY TESTING OR INSPECTIONS REQUIRED BY BUILDING OFFICIALS OR THE PROJECT DRAWINGS OR SPECIFICATIONS SHALL BE PERFORMED BY AN APPROVED INDEPENDENT TESTING LABORATORY.

11) OBSERVATION VISITS TO THE SITE BY THE ENGINEER SHALL NEITHER BE CONSTRUED AS INSPECTION NOR APPROVAL OF CONSTRUCTION.

12) CONTRACTOR SHALL READ AND BE FAMILIAR WITH ALL FACETS OF THE PLANS AND SPECIFICATIONS AND SHALL REQUEST CLARIFICATION AS REQUIRED BEFORE COMMENCING CONSTRUCTION.

13) CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION WHICH IS IN DEVIATION FROM THESE PLANS.

14) CONTRACTOR 13 RESPONSIBLE FOR THE CORRECT INSTALLATION OF ALL MANUFACTURED PRODUCTS, INCLUDING BUT NOT LIMITED TO OSB, TI-11, PARALLAMS AND MICROLLAMS. ALL INSTALLATIONS SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

15) UNLESS CALLED OUT AS FUTURE, EXISTING OR NOT-IN-CONTRACT, EVERYTHING SHOWN ON THESE DRAWINGS SHALL BE PROVIDED AND INSTALLED AS PART OF THE WORK OF THE PROJECT.

16) ALL CONDITIONS SHOWN OR NOTED AS EXISTING ARE BASED ON THE BEST INFORMATION CURRENTLY AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS. NO WARRANTY IS IMPLIED AS TO THEIR ACCURACY, CONTRACTOR IS TO FIELD VERIFY ALL CONDITIONS, SHOULD CONDITIONS BECOME APPARENT WHICH DIFFER FROM THE CONDITIONS SHOWN HEREIN THEY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR ENGINEER. THE ARCHITECT OR ENGINEER MAY THEN PREPARE ADDITIONAL DRAWINGS AS MAY BE NEEDED TO ACCOMMODATE THE NEW CONDITIONS.

FOUNDATION

1) SOILS INVESTIGATION OR GEOTECHNICAL REPORT: NONE PREPARED

2) FOUNDATIONS SHALL BEAR ON FIRM, UNDISTURBED FOUNDATION SOIL STRATA, OR ENGINEERED FILL.

3) THE DEPTHS OF BOTTOMS OF FOOTINGS AS SHOWN ON THESE DRAWINGS INDICATE THE ESTIMATED MINIMUM FOUNDATION DEPTHS.

4) THE BOTTOM OF ALL FOOTINGS SHALL BE LEVEL. CHANGES IN FOOTING ELEVATIONS SHALL BE MADE USING THE STEP FOOTING DETAIL ON THESE DRAWINGS.

5) CENTER FOOTINGS UNDER WALLS OR COLUMNS UNLESS OTHERWISE INDICATED ON THESE DRAWINGS.

6) ALL WATER & ORGANICS SHALL BE REMOVED FROM FOOTING EXCAVATION BEFORE PLACING CONCRETE.

1) OUNER/DEVELOPER AND APPROPRIATE SUBCONTRACTOR(S) ARE RESPONSIBLE FOR REVIEWING SITE SOIL PRIOR TO COMMENCING CONSTRUCTION.

9) SOIL FILL OVER 12" SHALL REQUIRE SPECIAL INSPECTION BY A QUALIFIED DESIGN PROFESSIONAL

WOOD

1) WHERE ELEMENTS OF CONSTRUCTION ARE CALLED OUT BY BRAND NAME IN THESE DRAWINGS, 1) STRUCTURAL FRAMING SHALL BE DOUGLAS FIR - LARCH GRADED IN ACCORDANCE WITH THE STANDARD GRADING RULES OF THE WESTERN WOOD PRODUCTS ASSOCIATION. GRADES SHALL BE THE DESIGN IS BASED UPON STRUCTURAL VALUES PROVIDED BY THE MANUFACTURER. EQUIVALENT AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS. PRODUCTS OF OTHER MANUFACTURERS MAY BE SUBMITTED TO THE ENGINEER FOR SUBSTITUTION APPROVAL. SUBMITTALS MUST CONTAIN I.C.B.O. REPORT OR OTHER PROOF OF EQUIVALENT STRUCTURAL VALUES. 4x MEMBERS

6x & LARGER MEMBERS EXTERIOR WALL STUDS INTERIOR BEARING WALL STUDS INTERIOR NON-BEARING WALL STUDS GLU-LAM BEAMS PARALLAMS MICROLLAMS

BLOCKING

2) MAXIMUM MOISTURE CONTENT SHALL NOT EXCEED 19% AT TIME OF INSTALLATION FOR SAWN LUMBER.

3) ALL BEAMS INTENDED FOR EXTERIOR USE SHALL BE TREATED OR PROTECTED FROM THE ELEMENTS.

4) AITC CERTIFICATES FOR GLULAM BEAMS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT AND ENGINEER PRIOR TO FABRICATION.

5) WOOD MEMBERS SHALL BE CUT OR NOTCHED ONLY AS SHOWN ON THESE DRAWINGS.

6) SILL PLATES OR WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE PRESERVATIVE TREATED DOUGLAS FIR OR REDWOOD.

1) SOLID BLOCKING SHALL BE INSTALLED BETWEEN JOISTS OR RAFTERS AT THE TOP OF ALL BEARING AND SHEAR WALLS.

9) ALL PLYWOOD SHOWN ON THESE DRAWINGS SHALL BE C-D WITH EXTERIOR GLUE IN ALL PROPERTY LINES AND CORNERS AND SHALL ENSURE THAT CONSTRUCTION IS WITHIN ALL ACCORDANCE WITH U.S. PRODUCT STANDARD PSI-95. ALL PANELS SHALL BE MARKED WITH AN APPLICABLE SETBACKS AND EASEMENTS. APA GRADE MARK WITH AN IDENTIFICATION INDEX ROOF PLY SHALL BE PANEL INDEX 24/0 U.O.N., FLOOR PLY SHALL BE PANEL INDEX 48/24 U.O.N. (PLYWOOD AT EXPOSED ROOF OVERHANGS 3) THE ENTIRE AREA TO BE COVERED BY STRUCTURES SHALL BE CLEARED AND GRUBBED TO MAY BE C-C WITH EXTERIOR GLUE.) REMOVE SURFACE VEGETATION AS REQUIRED.

10) SHEATHING NAILING AT EDGE OF ANY FLOOR OR ROOF OPENING SHALL BE THE SAME AS BOUNDARY NAILING.

11) PARTIAL SHEETS OF SHEATHING CALLED OUT ON STRUCTURAL DRAWINGS SHALL HAVE A MINIMUM AREA OF 8 SQ. FT. WITH A MINIMUM DIMENSION OF 2 FEET.

12) EXCEPT WHERE MORE STRINGENT CONDITIONS ARE SHOWN ON THE DRAWINGS, WOOD CONSTRUCTION SHALL COMPLY WITH 2016 CRC, CONVENTIONAL CONSTRUCTION PROVISIONS, AS A MINIMUM.

13) ENDS OF WOOD MEMBERS ENTERING MASONRY OR CONCRETE WALLS SHALL HAVE A 1/2" AIR SPACE AROUND TOP, END, AND SIDES, UNLESS WOOD IS TREATED WITH APPROVED PRESERVATIVE.

2) NOTCHES MAY NOT EXCEED 1.4" IN DEPTH FOR 2X4 AND 2.2" FOR 2X6 AND MAY 15) GLU-LAM BEAMS SHALL HAVE A.I.T.C. INSPECTION AND BEAR AN A.I.T.C. STAMP. A COPY OF THE NOT EXCEED 4" IN LENGTH. NOTCHING IS NOT ALLOWED ADJACENT TO BORING A.I.T.C. INSPECTION CERTIFICATE SHALL BE SENT TO THE BUILDING DEPARTMENT. LOCATIONS.

16) MANUFACTURED LUMBER SHALL NOT BE NOTCHED, CUT OR DRILLED, EXCEPT AS SHOWN ON DRAWINGS, WITHOUT THE APPROVAL OF THE ENGINEER AND THE BUILDING DEPARTMENT.

17) MANUFACTURED LUMBER SHALL NOT BE EXPOSED TO THE WEATHER UNLESS PRESSURE TREATED OR OF A DURABLE SPECIES.

18) SUBMIT COMPLETE GLU-LAM BEAM SHOP DRAWINGS TO THE ENGINEER AND TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION.

19) SIMPLE SPAN GLU-LAM BEAMS SHALL BE COMBINATION 24F-V4 DF/DF, CANTILEVERED GLU-LAM BEAMS SHALL BE COMBINATION 24F-V8 D.F./D.F.

20) CANTILEVERED ENDS OF GLU-LAM BEAMS SHALL HAVE NO CAMBER.

21) COAT NOTCHED OR DRILLED PRESSURE TREATED WOOD WITH COPPER NAPTHENATE CONTAINING 2% COPPER METAL AND APPLIED WITH REPEATED BRUSHING, DIPPING OR SOAKING.

FASTENERS

1) BOLTS FOR TIMBER CONNECTIONS SHALL BE ASTM A307 MACHINE BOLTS UNLESS OTHERWISE NOTED. BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST 4) REINFORCING SHALL BE FABRICATED AND PLACED ACCORDING TO CRSI. "MANUAL OF EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NATIONAL STANDARD PRACTICE" FOREST PRODUCTS ASSOCIATION. BOLT HOLES SHALL BE 1/16 INCH LARGER THAN BOLT DIAMETER.

2) ALL BOLTS SHALL BE RETIGHTENED PRIOR TO THE APPLICATION OF SHEATHING, PLASTER, ETC. PROVIDED FOR ALL REINFORCING STEEL.

3) PROVIDE MALLEABLE IRON WASHERS OR EQUIVALENT CUT PLATE WASHERS UNDER NUTS AND 6) THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF BOLT OR LAG SCREW HEADS WHICH BEAR ON WOOD. CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE:

4) WHEN REQUIRED NAILING TENDS TO SPLIT WOOD MEMBERS, NAIL HOLES SHALL BE PRE-BORED TO 75% OF THE NAIL DIAMETER.

5) NAILING NOT SPECIFICALLY INDICATED SHALL COMPLY WITH TABLE 2304.9.1 IN THE 2016 CRC. 6) ALL NAILS SHALL BE COMMON NAILS UNLESS NOTED OTHERWISE, NAILING SHALL BE PER THE TABLE PROVIDED THIS SHEET, UNLESS NOTED OTHERWISE ON THE PLANS AND DETAILS.

8d COMMON = Ø.131" x 2 1/2" 10d COMMON = 0.148" x 3" 12d COMMON = Ø.148" x 3 1/4" 16d COMMON = 0.162" x 3 1/2'

1) ALL PREFABRICATED CONNECTING HARDWARE SPECIFIED IS MANUFACTURED BY SIMPSON COMPANY, SAN LEANDRO, CALIFORNIA, UNLESS OTHERWISE NOTED. INSTALL IN ACCORDANCE WITH 10) WELDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO ASTM A185 STANDARDS FOR COLD THE MANUFACTURER'S INSTRUCTIONS FOR MAXIMUM RATED VALUES.

8) HOLES FOR LAG SCREW SHANKS SHALL BE BORED THE SAME DEPTH AND DIAMETER AS THE SHANK. THE REMAINING DEPTH OF PENETRATION OF THE SCREW SHALL BE BORED TO 70% OF THE SHANK DIAMETER.

3) ALL LAG SCREWS SHALL HAVE WASHERS WHICH HAVE FULL BEARING ON FLATTENED SURFACE OF THE WOOD MEMBER.

10) LAG SCREWS SHALL BE TURNED INTO HOLES WITH A WRENCH NOT DRIVEN IN WITH A HAMMER. 13) SPACING OF REINFORCING SHALL BE CONSIDERED A MAXIMUM. 11) THE CLEARANCE HOLE FOR THE UNTHREADED PORTION OF THE SHANK SHALL BE THE SAME

DIAMETER AS THE SHANK.

12) ALL COUNTER SUNK HOLES SHALL BE 1/8" DIA. GREATER THAN THE DIAMATER OF THE WASHER. COUNTER SINK HOLES SHALL NOT BE OVERDRILLED.

13) FASTENERS IN CONTACT WITH PRESERVE-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. EXCEPTION: 1/2" DIAMETER OR GREATER STEEL BOLTS.

NO. 2 NO, 1 (MIN.)NO. 2 (MIN.) NO. 2 (MIN.) STUD GRADE 24F-V4 DF/DF, U.O.N. E= 2,000,000 PSI E= 1,900,000 PSI E= 1,700,000 PSI STUD GRADE

14) MAXIMUM MOISTURE CONTENT FOR GLU-LAM BEAMS SHALL NOT EXCEED 16%.

PROPRIETARY COMPONENTS

2) SHEET METAL HANGERS, STRAPS, HOLD-DOUNS, ANCHORS, ETC CALLED OUT AS "SIMPSON" REFER TO PRODUCTS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. ALL SUCH PRODUCTS SHALL BE INSTALLED WITH THE MAXIMUM NUMBER OF FASTENERS CALLED IN THE CURRENT SIMPSON CATALOG UNLESS CALLED OUT DIFFERENTLY IN THESE DRAWINGS.

3) UNLESS CALLED OUT OTHERWISE ON DRAWINGS, CONCRETE EXPANSION ANCHORS SHALL BE "KWIK-BOLT II" BY HILTI FASTENING SYSTEMS, I.C.B.O. #4627.

4) UNLESS CALLED OUT OTHERWISE ON DRAWINGS, MASONRY EXPANSION ANCHORS SHALL BE "DYNABOLT SLEEVE ANCHOR" BY ITW RAMSET / RED HEAD, I.C.B.O. #1372.

5) UNLESS CALLED OUT OTHERWISE ON DRAWINGS, SHOT PINS (POWDER ACTUATED FASTENERS) SHALL BE AS MANUFACTURED BY HILTI, INC AS DESCRIBED IN I.C.B.O. REPORT #1290. PINS SHALL BE MINIMUM Ø.145" DIAMETER AND PENETRATE AT LEAST 1-1/4" INTO CONCRETE UNLESS NOTED OTHERWISE.

6) UNLESS CALLED OUT OTHERWISE ON DRAWINGS, EPOXY ANCHORS SHALL BE ALL THREAD RODS IN SIMPSON SET HIGH STRENGTH EPOXY, I.C.B.O. #ER5279.

SITE

1) CONTRACTOR SHALL RECOGNIZE AND NOTIFY ENGINEER IF CLAYS OR SOILS, NOT SUITABLE FOR CONSTRUCTION, ARE PRESENT. CONSTRUCTION SHALL NOT CONTINUE WITHOUT APPROVAL BY THE ENGINEER.

2) THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING

4) ALL GRADING SHALL CONFORM TO LOCAL GRADING ORDINANCES. GRADE SURROUNDING ANY BUILDING STRUCTURES SHALL BE SLOPED A MINIMUM OF 5% AWAY FROM THE BUILDING PAD FOR A MINIMUM 10' IN ALL DIRECTIONS TO MAINTAIN SUFFICIENT DRAINAGE, WHERE PHYSICAL OBSTRUCTIONS OR LOT LINES PREVENT THIS, AN ALTERNATE METHOD SHALL BE USED TO DIVERT WATER USING A SWALE OR OTHER APPROVED METHOD.

5) THERE SHALL BE NO UTILITY TRENCHES WITHIN THE INFLUENCE ZONE OF THE FOUNDATION (A 45 DEGREE ANGLE PROJECTING FROM THE BOTTOM OF THE OUTER EDGE OF ANY FOOTING.)

STUD BORING & NOTCHING

NON-BEARING WALLS 1) BORED HOLES MAY NOT EXCEED 2.1" DIAMTER FOR 2X4 AND 3.3" FOR 2X6 STUDS AND SHALL BE 5/8" MIN FROM EDGES.

BEARING WALLS 1) BORED HOLES MAY NOT EXCEED 1.4" DIAMETER FOR 2X4 STUDS AND 2.2" FOR 2X6 STUDS

REINFORCING STEEL

1) REINFORCING STEEL SHALL BE DEFORMED CONFORMING TO ASTM A615.

2) WELDING OF REINFORCING STEEL SHALL BE PERFORMED ONLY WHERE INDICATED ON THE DRAWINGS AND SHALL BE IN COMPLIANCE WITH AWS DI.4 AND ASTM AGIS. PROVIDE WELDING PROCEDURE AND MILL TEST REPORTS FOR ALL REINFORCEMENT TO BE WELDED. ENGINEER SHALL APPROVE WELDING PROCEDURE AND MILL TEST REPORTS PRIOR TO EXECUTION OF WELDING.

3) LAP SPLICES FOR REINFORCING SHALL BE 40 BAR DIAMETERS OR 24" MINIMUM UNLESS SHOWN OTHERWISE ON THE DRAWINGS. WIRE BARS TOGETHER AT LAPS OR SPLICES. HOOKS SHALL BE CRC STANDARD HOOKS FIGURE R611.5.4(3) UNLESS SHOWN OTHERWISE.

5) ALL REINFORCING STEEL, DOWELS, ANCHOR BOLTS AND OTHER INSERTS SHALL BE WELL SECURED IN PLACE PRIOR TO CONCRETE OR GROUT POUR. ADEQUATE SUPPORTS SHALL BE

SLABS ON GRADE	CENTER OF SLA
CONCRETE BELOW GRADE, FORMED	2"
CONCRETE BELOW GRADE, UNFORMED (POURED AGAINST EARTH)	3"
CONCRETE EXPOSED TO WEATHER	3"
BEAMS AND COLUMNS PRIMARY REINFORCING	2"
BEAMS AND COLUMNS STIRRUPS AND TIES	1-1/2"

1) ALL REINFORCING STEEL SHALL GRADE 40.

8) ALL BARS SHALL BE CLEANED OF LOOSE FLAKY RUST, GREASE OR OTHER MATERIALS THAT MAY IMPAIR BOND.

9) WELDED WIRE FABRIC TO BE AGTM A185. LAP 1 1/2 SPACES, 9" MINIMUM FOR STRUCTUAL SLABS.

DRAWN STEEL WIRE. SPLICES SHALL BE MADE SO THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRES PLUS TWO (2) INCHES. YIELD STRENGTH TO BE 60 KSI.

11) PLACE 20'-0" LENGTH OF REBAR AT ELECTRICAL SERVICE LOCATIONS, AND STUB UP REBAR ABOVE THE CONCRETE NEAR SERVICE METER.

12) ALL BENDS SHALL BE MADE COLD.

NORMAL WEIGHT CONCRETE

1) CONCRETE SHALL CONFORM TO THE FOLLOWING:

CONCRETE CLASS MAXIMUM AGGREGATE SIZE MINIMUM SACKS PER YARD MAXIMUM WATER/CEMENT RATIO SLUMP

2) ALL CONCRETE SHALL BE CONSOLIDATED BY MECHANICAL VIBRATORS.

3) ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CBC. AND ACI STANDARD 318, LATEST EDITION, OF THE AMERICAN CONCRETE INSTITUTE

4) CONCRETE AGGREGATE SHALL CONFORM TO ASTM C-33 AND SHALL BE WELL GRADED. SHRINKAGE CHARACTERISTICS SHALL BE LESS THAN -0.04%.

5) PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE I OR TYPE II.

6) CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ASTM C-94 AND ASTM C-685.

1) ALL EMBEDDED ITEMS SHALL BE PLACED ACCURATELY AND SECURELY PRIOR TO BEGINNING CONCRETE PLACEMENT.

8) CONSTRUCTION JOINTS SHALL BE LOCATED SO AS NOT TO IMPAIR THE STRENGTH OF THE STRUCTURE. JOINTS SHALL BE ROUGHENED AND CLEANED PRIOR TO SUCCEEDING POUR FOR JOINTS IN ELEVATED SLABS, CONCRETE BEAMS, OR SHEARWALL FOOTINGS, CONTACT ENGINEER.

9) ALL GROUT SHALL BE NON-METALLIC, NON-SHRINK, HIGH STRENGTH GROUT AS APPROVED BY THE ENGINEER.

10) REINFORCING AND EMBEDMENT ITEMS SHALL BE FREE OF EXCESSIVE SCALE OR RUST, DIRT, GREASE, OIL OR ANY OTHER SUBSTANCE THAT WILL IMPAIR BOND WITH CONCRETE.

12) ALL REINFORCING BARS SHALL BE ACCURATELY AND SECURELY PLACED BEFORE POURING CONCRETE.

13) HOLDOWN LOCATIONS SHOWN ON THE FOUNDATION PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATIONS BASED ON THE LENGTH OF SHEAR WALLS, THE TYPE OF HOLDOWNS & THE MANUFACTURER'S SPECIFICATIONS.

14) REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL PIPES, CONDUITS, AND OTHER INSERTS EMBEDDED OR CAST WITH CONCRETE. CORING SHALL NOT BE ALLOWED WITHOUT THE ENGINEERS APPROVAL

16) ADMIXTURES TO BE USED SHALL BE SUBJECT TO PRIOR APPROVAL BY THE ENGINEER.

11) CONCRETE SHALL BE CURED WHILE IN A MOIST CONDITION FOR AT LEAST THE FIRST SEVEN (1) DAYS AFTER PLACEMENT, METHODS FOR ACCELERATED CURING SHALL HAVE PRIOR APPROVAL OF THE ENGINEER, AND SHALL MEET CONDITIONS OF ASTM C308.

18) REMOVE ALL DEBRIS FROM FORMS BEFORE POURING CONCRETE

19) NO WOOD SPREADERS OR WOOD STAKES ALLOWED IN CONCRETE.

20) MAXIMUM FREE FALL OF CONCRETE SHALL BE 8'-0".

21) CONCRETE SHALL BE READY-MIXED PER ASTM C-94

WITH CRC. 1905.12

23) WHEN HOT WEATHER CONDITIONS EXIST, PLACE CONCRETE IN COMPLIANCE WITH CRC. 1905.13. REINFORCING SHALL BE KEPT COOL DURING PLACEMENT OF CONCRETE

SLAB ON TYPICAL GRADE FOOTINGS 3/4" 3/4" 45 Ø.54 060 35" - 5" 2.5" - 5" DAY COMPRESSIVE STRENGTH 2,500 PSI 2,500 PSI

22) WHEN COLD WEATHER CONDITIONS EXIST, PLACE CONCRETE IN COMPLIANCE

AUSMUS NCINEERI 311 PENZANCE AVE CHICO, CA 95973 PH: (530) 521-2648 ericausmus@amail.cc BUILDIN [-] C. AN AINTER Z 5 CIT HOU GION/ 38. Y 09-30-2021 DATE OCT 22, 2019 DESIGNED BY: EDA DRAWN BY: EDA CHECKED BY: EDA SCALE: AS NOTED PROJECT * PAGE OF

SHEET NO.

N

2016 CALIFORNIA GREEN BUILDING ST NONRESIDENTIAL MANDATORY MEASURES, SHEET INSPECTOR SIGNOFF

CHAPTER 3 **GREEN BUILDING**

SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work

A code section will be designated by a banner to indicate where the code section only applies to newly constructed building [N] or to additions and alterations [A]. When the code section applies to both, no banner will be used.

301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only:

Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for ensuring compliance.

301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC)

301.5 HEALTH FACILITIES. (see GBSC)

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

SECTION 303 PHASED PROJECTS

303.1 Phased projects. For shell buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply.

303.1.1 Tenant improvements. The provisions of this code shall apply only to the initial tenant or occupant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.

ABBREVIATION DEFINITIONS:

CD	Department of Housing and Community Developmen
SC	California Building Standards Commission

DSA-SS Division of the State Architect, Structural Safety Office of Statewide Health Planning and Development OSHPD

ט זו וכ	
	Low Rise
2	High Rise

Additions and Alterations New

AA

CHAPTER 5

NONRESIDENTIAL MANDATORY MEASURES

DIVISION 5.1 PLANNING AND DESIGN

SECTION 5.101 GENERAL 5.101.1 Scope

The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmenta quality of the site and respect the integrity of adjacent properties. SECTION 5.102 DEFINITIONS 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.

LOW-EMITTING AND FUEL EFFICIENT VEHICLES. Eligible vehicles are limited to the following:

Zero emission vehicle (ZEV), including neighborhood electric vehicles (NEV), partial zero emission vehicle (PZEV), advanced technology PZEV (AT ZEV) or CNG fueled (original equipment manufacturer only) regulated under Health and Safety Code section 43800 and CCR, Title 13, Sections 1961 and 1962.

2. High-efficiency vehicles, regulated by U.S. EPA, bearing High-Occupancy Vehicle (HOV) car pool lane stickers issued by the Department of Motor Vehicles.

NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385,5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is certified to zero-emission vehicle standards.

TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, as distinguished from customers and other transient visitors.

VANPOOL VEHICLE. Eligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor, designed for carrying more than 10 but not more than 15 persons including the driver, which is maintained and used primarily for the nonprofit work-related transportation of adults for the purpose of ridesharina.

Note: Source: Vehicle Code, Division 1, Section 668

ZEV. Any vehicle certified to zero-emission standards.

SECTION 5.106 SITE DEVELOPMENT

inserts).

area.

5.106.1 STORM WATER POLLUTION PREVENTION. Newly constructed projects and additions which disturb less than one acre of land shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures:

5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control ordinance.

5.106.1.2 Best Management Practices (BMP). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMP.

1. Soil loss BMP that should be considered for each project include, but are not limited to, the following:

- Scheduling construction activity. Preservation of natural features, vegetation and soil. Drainage swales or lined ditches to control stormwater flow.
 - Mulching or hydroseeding to stabilize disturbed soils. Erosion control to protect slopes. Protection of storm drain inlets (gravel bags or catch basin
 - Perimeter sediment control (perimeter silt fence, fiber rolls). Sediment trap or sediment basin to retain sediment on site. Stabilized construction exits
- Wind erosion control. Other soil loss BMP acceptable to the enforcing agency.

2. Good housekeeping BMP to manage construction equipment, materials and wastes that should be considered for

implementation as appropriate for each project include, but are not limited to, the following

- Material handling and waste management. Building materials stockpile management.
- Management of washout areas (concrete, paints, stucco, etc.). Control of vehicle/equipment fueling to contractor's staging
- Vehicle and equipment cleaning performed off site.
- Spill prevention and control. Other housekeeping BMP acceptable to the enforcing agency.

NSPECTOR SIGNOFF

5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2

5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the applicable local ordinance, whichever is stricter.

5.106.4.1.1 Short-term bicycle parking. If the project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack. **Exception:** Additions or alterations which add nine or less visitor vehicular parking spaces.

5.106.4.1.2 Long-term bicycle parking. For new buildings with 10 or more tenant-occupants or for additions or alterations that add 10 or more tenant-occupants or for additions or alterations that add 10 or more tenant vehicular parking spaces, provide secure bicycle parking for 5 percent of the tenant vehicle parking spaces being added, with a minimum of one space. Acceptable parking facilities shall be convenient from the street and shall meet one of the following:

1. Covered, lockable enclosures with permanently anchored racks for bicycles;

2. Lockable bicycle rooms with permanently anchored racks: or 3. Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

5.106.4.2 Bicycle parking. [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2

5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building. 5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed

with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks for bicycles;

2. Lockable bicycle rooms with permanently anchored racks; or 3. Lockable, permanently anchored bicycle lockers.

5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES. In new projects or additions or alterations that add 10 or more vehicular parking spaces, provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as follows:

TABLE 5.106.5.2 - PARKING	- נ
TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES
0-9	0
10-25	1
25-50	3
51-75	6
76-100	8
101-150	11
151-200	16
201 AND D∨ER	AT LEAST 8% OF TOTAL

5.106.5.2.1 - Parking stall marking. Paint, in the paint used for stall striping characters such that the lower edge of the last the following word aligns with the end of the stall striping and is visible beneath a parked vehicle: CLEAN AIR / VAN POOL / ÉV

Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces.

5.106.5.3 Electric vehicle (EV) charging. [N] Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE). When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Energy Commission (CEC) and as follows:

5.106.5.3.1 Single charging space requirements. [N] When only a single charging space is required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction and shall be installed in accordance with the *California Electrical Code*. Construction plans and specifications shall include, but are not limited to, the following:

- 1. The type and location of the EVSE.
- 2. A listed raceway capable of accommodating a 208/240 -volt dedicated branch circuit.
- 3. The raceway shall not be less than trade size 1." 4. The raceway shall originate at a service panel or a subpanel serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and listed
- suitable cabinet, box, enclosure or equivalent. 5. The service panel or subpanel shall have sufficient capacity to accommodate a minimum 40-ampere dedicated branch circuit for the future installation of the EVSE.

5.106.5.3.2 Multiple charging space requirements. [N] When multiple charging spaces are required per Table 5.106.5.3.3 raceway(s) is/are required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

1. The type and location of the EVSE.

- 2. The raceway(s) shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and into listed suitable cabinet(s), box(es), enclosure(s) or equivalent.
- 3. Plan design shall be based upon 40-ampere minimum branch circuits.
- 4. Electrical calculations shall substantiate the design of the electrical system, to include the rating of equipment and any on-site distribution transformers and have sufficient capacity to simultaneously charge all required EVs at its full rated amperage.

5. The service panel or subpanel(s) shall have sufficient capacity to accommodate the required number of dedicated branch circuit(s) for the future installation of the EVSE.

5.106.5.3.3 EV charging space calculations. [N] Table 5.106.5.3.3 shall be used to determine if single or multiple charging space requirements apply for the future installation of EVSE.

Exceptions: On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure is not feasible based upon one or more of the following conditions:

1. Where there is insufficient electrical supply. 2. Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project.

۱NDA	RDS	s co	DDE		DIVISION 5.2 ENERGY EFFICIENCY SECTION 5.201 GENERAL 5.201.1 Scope [BSC-CG]. California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory building standards. DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION	AUSMUS
I (INCLUDI	NG JAI	NUARY	1, 2017	7 ERRATA)	 SECTION 5.301 GENERAL 5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors and in wastewater conveyance. SECTION 5.302 DEFINITIONS 5.302.1 Definitions. The following terms are defined in Chapter 2 (and are included here for reference). 	AUGMUG ENGINEERING 3311 PENZANCE AVE
TABLE 5.106.5.3	3,3				EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS]. An adjustment factor when applied to reference evapotranspiration that adjusts for plant factors and irrigation	PH: (530) 521-2648 ericausmus@gmail.com
TOTAL NUMBER OF P	ARKING SPACES	NUMBER OF	REQUIRED SPACE	ES	applied to the landscape. FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the	
10-25 36-5	5 0		1 2		structure projected to natural grade, not including exterior areas such as stairs, covered walkways, patios and decks. METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for	
51-75 76-10	5 0		4 5		each actuation cycle. The volume or cycle duration can be fixed or adjustable. GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means	
101-20 201 AND	DO DVER	6%	7 of total ¹		untreated wastewater that has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or operating wastes. "Graywater" includes but is not limited to wastewater from	
1. Calculation for spaces	s shall be rounded up	p to the nearest who	le number.	all identify the	bathtubs, showers, bathroom washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or dishwashers.	U U
reserved overcurrent pro termination location sha 5.106.5.3.5 [N] Future c Designated parking for c	btective device space all be permanently ar harging spaces qual clean air vehicles.	e(s) for future EV chand visibly marked as ify as designated pa	rking as described in	BLE". The raceway	MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and climatological parameters.	
Notes: 1. The California Uniform Traffic specifications f and Pavement www.dot.ca.go	Department of Trans control Devices (Ca for all official traffic c Markings can be fou	sportation adopts and alifornia MUTCD) to ontrol devices in Cal und in the New Polic 13-01 pdf	d publishes the Calif provide uniform star ifornia. Zero Emissi ies & Directives nun	fornia Manual on ndards and on Vehicle Signs nber 13-01.	MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). [HCD] The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and maintenance practices. Local agencies are required to adopt the updated MWELD, or adopt a local ordinance at least as effective as the MWELD. POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection	
2. See Vehicle Co facilities and fo 3. The Governor's	ode Section 22511 for or use of EV charging s Office of Planning a	or EV charging spac g spaces. and Research publis	es signage in off-str hed a Zero-Emissio	eet parking n Vehicle	Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5.	
Community Re residents and l	adiness Guidebook businesses. www.op	which provides help r.ca.gov/docs/ZEV_0	ful information for lo Guidebook.pdf.	cal governments,	POTABLE WATER.[HCD] Water that is satisfactory for drinking, culinary, and domestic puroses, and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority Having Jurisdiction.	
8 LIGHT POLLUTION REDUC	TION. [N] Outdoor	lighting systems sha	II be designed and i	nstalled to comply	RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water is water treated to remove waste matter attaining a quality that is suitable to use the water again.	
 following: The minimum requirements 	in the California Ene	ergy Code for Lighting	g Zones 1-4 as defin	ed in Chapter 10 of	SUBMETER. A meter installed subordinate to a site meter. Usually used to measure water intended for one purpose, such as landscape irrigation. For the purposes of CALGreen, a dedicated meter may be considered a submeter.	
 Backlight, Uplight and Glare Allowable BUG ratings not e lawfully enacted pursuant to 	(BUG) ratings as de exceeding those show Section 101.7, which	fined in IES TM-15-1 wn in Table 5.106.8, hever is more stringe	1; and or Comply with a loc ent.	al ordinance	WATER BUDGET. Is the estimated total landscape irrigation water use which shall not exceed the maximum applied water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape Ordinance (MWELO).	
Exceptions: [N] 1. Luminaires th ornia Energy Code. 2. Emergency li 3. Building faca ornia Energy Code, Po	nat qualify as ghting, de meeting the art 6,	exceptions in e requirements	Section 140.7 5 in Table 140.	of the 7-B of the	SECTION 5.303 INDOOR WATER USE 5.303.1 METERS. Separate submeters or metering devices shall be installed for the uses described in Sections 503.1.1 and 503.1.2. 5.303.1.1 Buildings in excess of 50.000 square feet. Separate submeters shall be	THORIT AVE 993
4. Custom light ermitted by Section 1 ods of construction.	ing features o 01.8	as allowed by Alterna	the local enfo te materials, i	designs and	installed as follows: 1. For each individual leased, rented or other tenant space within the building restort to some the second seco	B S S
Note: [N] See also Calif ge campus lighting vays, 10 GRADING AND PAVING. 1	`ornia Building requ Construction p	Code, Chapter irements for j plans shall indi	12, Section 12 Darking faciliti cate how site	205.6 for les and grading or a	The building projected to consume more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty sâlon Whebærksepashadje, submeters for individual building tenants are unfeasible, for water supplied to the following subsystems:	ILLE SITY
nage system will manag ring buildings. Exampl not limited to, the fo	ge all surface es of methods bllowing:	water flows - s to manage si	to keep water urface water	from include, but	a. Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s). b. Makeup water for evaporative coolers greater than 6 gpm	
1. Swales. 2. Water collection of 3. French drains. 4. Water retention of 5. Other water meas	and disposal s gardens. ures which kee	ystems. ep surface wa	ter away from	m buildings	(0.04 L/s). c. Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW). 5.303.1.2 Excess consumption. A separate submeter or metering device shall be provided for any tenant within a new building or within an addition that is	YUB
aid in groundwater Exception: Additions ar	nd alterations	recr not altering	iarge. the drainage f	oath.	projected to consume more than 1,000 gal/day.	BGI (1
LE 5.106.8 [N]	MAXIMUM (ALLOWABLE	BACKLIGHT	, UPLIGHT	5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS . Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:	
ALLOWABLE RATING	LIGHTING ZONE	LIGHTING ZONE	LIGHTING ZONE 3	LIGHTING ZONE 4	5.303.3.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type toilets.	
naire greater than punting heights (MH) n property line	No Limit	No Limit	No Limit	No Limit	Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.	
naire back sphere is 1-2 MH o property line	B2	ВЗ	B4	B4	5.303.3.2 Urinals. The effective flush volume of urinals shall not exceed 0.5 gallons per flush. 5.303.3.3 Showerheads	7
naire back sphere is 0.5-1 MH property line naire back	B1	B2	B3	B3	5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.	
Sphere is less than 1H from property MUM ALLOWABLE 3HT RATING	B0	BO	B1	B2	5.303.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.	DAtt
area lighting 4	UO	UO	UO	UO	Note: A hand-held shower shall be considered a showerhead. 5.303.3.4 Faucets and fountains.	
MUM ALLOWABLE GLARE	U1	U2	U3	U4	 5.303.3.4.1 Nonresidential Lavatory faucets. Lavatory faucets shall have a maximum flow rate of not 5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of 	PROFESSIONA
naire greater than I from property line	G1	G2	G3	G4	not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 callons per minute at 60 psi.	AUSMUS
naire front sphere is 1–2 MH n property line	GO	G1	G1	G2	5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 [rim space (inches) at 60	₩ 09-30-2021 ★ CIVIL
naire front 5phere is 0.5-1 MH 1 property line	GO	G0	G1	G1	psij. 5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 aallons per cycle.	OF CALIFOR
naire back sphere is less than 1H from property	GO	GO	G0	G1	5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute/20 [rim space (inches) at 60 psi].	DATE: OCT 22, 2019
ESNA Lighting Zones (lefined in the <i>California</i>) and 5 are n Energy Code and	ot applicable; Chapter 10 of	refer to Ligh the <i>Callifornia</i>	nting Zones Administrative	Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.	DESIGNED BY: EDA DRAWN BY: EDA
For property lines th , the property line m perty line for purpos perty lines that abut perty line may be con public transit corridor	nat abut publi ay be conside e of determin public roadwo sidered to be r for the pur	c walkways, bil red to be 5 f ing compliance ays and public the centerlir pose of dete	<eways, plazas<br="">feet beyond t with this sec transit corr ne of the pub rmining complia</eways,>	s and parking the actual tion. For idors, the Ilic roadway nce with this	5.303.4 COMMERCIAL KITCHEN EQUIPMENT. 5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water.	CHECKED BY: EDA SCALE: AS NOTED PROJECT *
if the nearest prope nts from the back he nced Backlight rating	erty line is les emisphere of t shall be met,	ss than or eq the luminaire o	ual to two mo listribution, th	ounting ne applicable	Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation. 5.303.5 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as considerd in Section 100, the	15
eneral lighting luminair age lots shall meet nese areas shall mee	res in areas s these reduceo t <i>U</i> -value limit:	such as outdo % ratings. Deco s for "all oth	or parking, so prative luminai er outdoor lig	ales or res located ghting".	provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alteration to the building.	SHEET NO.
the nearest proper the front hemispher iced Glare rating sha	rty line is less ∩e of the lumi .ll be met.	5 than or equ naire distribu ⁻	al to two mou tion, the appli	unting heights cable	5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> and in Chapter 6 of this code.	CG1

						DIVISION 5.2 ENERGY EFFICIENCY	AUSMUS
	RDS	S C(ODE			5.201.1 Scope [BSC-CG]. California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory building standards. DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION SECTION 5 301 GENERAL	
1 (INCLUD	ING JAI	NUARY	1, 2017	ERRA	TA)	5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors and in wastewater conveyance. SECTION 5.302 DEFINITIONS	
TABLE 5.106.5.3	3.3				SIGNOFF	5.302.1 Definitions. The following terms are defined in Chapter 2 (and are included here for reference) - EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS]. An adjustment factor when applied to reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which as two major influences on the amount of water that needs to be	CHICO, CA 95973 PH: (530) 521-2648 ericausmus@gmail.com
TOTAL NUMBER OF P	ARKING SPACES	NUMBER OF	REQUIRED SPACE	ES		applied to the landscape. FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the	
10-25 36-5	5		1 2			structure projected to natural grade, not including exterior areas such as stairs, covered walkways, patios and decks. METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for	
51-75	5		4 5			each actuation cycle. The volume or cycle duration can be fixed or adjustable. GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means	
101-20 201 AND 1. Calculation for space	00 □∨ER is shall be rounded u	6% p to the nearest who	7 of total ¹ le number.			not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or dishwashers.	
5.106.5.3.4 [N] Identifi reserved overcurrent pro termination location sha 5.106.5.3.5 [N] Future of Designated parking for o	ication. The service otective device space all be permanently an charging spaces qual	panel or subpanel(s e(s) for future EV cha nd visibly marked as lify as designated pa) circuit directory sha arging as "EV CAPA "EV CAPABLE". rking as described ir	all identify the BLE". The raceway n Section 5.106.5.2		MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and climatological parameters.	
Notes: 1. The California	Department of Trans	sportation adopts and	d publishes the Calif	ornia Manual on		MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). [HCD] The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and maintenance practices. Local agencies are reguired to adopt	
specifications and Pavement www.dot.ca.go	for all official traffic c t Markings can be for ov/hq/traffops/policy/	ontrol devices in Cal und in the New Polic 13-01.pdf.	ifornia. Zero Emissio ies & Directives nun	on Vehicle Signs aber 13-01.		the updated MWELD, or adopt a local ordinance at least as effective as the MWELD. POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code.	
facilities and for 3. The Governor Community Re	or use of EV charging 's Office of Planning eadiness Guidebook	g spaces. and Research publis which provides help	whed a Zero-Emissio	n Vehicle cal governments,		Part 5. POTABLE WATER. [HCD] Water that is satisfactory for drinking, culinary, and domestic purposes and meets the U.S. Environmental Protection Agency (EPA) Drinking Water	
residents and	businesses. www.op	r.ca.gov/docs/ZEV_(Guidebook.pdf.			RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water is water treated to remove waste	
5.106.8 LIGHT POLLUTION REDUC	CTION. [N] Outdoor	lighting systems sha	Ill be designed and in	nstalled to comply		matter attaining a quality that is suitable to use the water again. SUBMETER. A meter installed subordinate to a site meter. Usually used to measure water intended for one purpose, such as landscape irrigation. For the purposes of CAL Green a dedicated meter may be considered a submater	
 The minimum requirements the California Administrative Backlight, Uplight and Glare Allowable BUG ratings not 	in the California Ene e Code; and e (BUG) ratings as de exceeding those show	ergy Code for Lighting afined in IES TM-15-1 wn in Table 5.106.8,	g Zones 1-4 as defin I1; and or Comply with a loc	ed in Chapter 10 of al ordinance		WATER BUDGET. Is the estimated total landscape irrigation water use which shall not exceed the maximum applied water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape Ordinance (MWELD).	
lawfully enacted pursuant to Exceptions: [N]	o Section 101.7, whic	hever is more stringe	ent.			Department of water Resources model efficient Landscape Brainance (MwELD).	
1. Luminaires th California Energy Code. 2. Emergency li 2. Building force	hat qualify as ighting.	exceptions in	Section 140.7	of the		SECTION 5.303 INDOOR WATER USE 5.303.1 METERS. Separate submeters or metering devices shall be installed for the uses described in Sections 503.1.1 and 503.1.2.	
California Energy Code, Po 4. Custom light as permitted by Section 1	art 6. ing features 0 101.8	as allowed by Alterna	the local enfo te materials, d	vrcing agency, designs and		5.303.1.1 Buildings in excess of 50,000 square feet. Separate submeters shall be installed as follows:	
Note: [N] See also Calif college campus lighting walkways.	fornia Building requ	Code, Chapter irements for p	12, Section 12 Darking faciliti	205.6 for es and		1. For each individual leased, rented or other tenant space within the building projected to consume more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty sâlon Whebersepasadge, submeters for individual building tenants are	LES ING A
5.106.10 GRADING AND PAVING. drainage system will manage entering buildings. Example are not limited to the fo	Construction p ge all surface les of methods	olans shall indi water flows t to manage si	cate how site to keep water urface water	grading or a from include, but		unfeasible, for water supplied to the following subsystems: a. Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s).	
1. Swales. 2. Water collection	and disposal s	ystems.				b. Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s). c. Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW).	
 3. French drains. 4. Water retention 5. Other water meas and aid in groundwater 	gardens. sures which kee	ep surface wa rech	ter away from harge, the drainage r	n buildings		5.303.1.2 Excess consumption . A separate submeter or metering device shall be provided for any tenant within a new building or within an addition that is projected to consume more than 1,000 gal/day.	38 °
TABLE 5.106.8 [N]	MAXIMUM	ALLOWABLE	BACKLIGHT	, UPLIGHT		5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with	KE
AND GLARE (BUG) RA	ATINGS 1,2 LIGHTING ZONE 1	LIGHTING ZONE 2	LIGHTING ZONE 3	LIGHTING ZONE 4		the following: 5.303.3.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type toilets.	
Luminaire greater than 2 mounting heights (MH)	No Limit	No Limit	No Limit	No Limit		Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.	
Luminaire back hemisphere is 1-2 MH	B2	ВЗ	B4	B4		5.303.3.2 Urinals. The effective flush volume of urinals shall not exceed 0.5 gallons per flush.	
Luminaire back hemisphere is 0.5-1 MH from property line	B1	B2	ВЗ	B3		5.303.3.3 Showerheads. 5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.	
hemisphere is less than 0.5 MH from property line MAXIMUM ALLOWABLE	BO	BO	B1	BS		5.303.3.2 Multiple showerheads serving one shower . When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.	
UPLIGHT RATING For area lighting 4	UO	UO	U0	UO		Note: A hand-held shower shall be considered a showerhead.	
For all other outdoor lighting,including decorative luminaires MAXIMUM ALLOWABLE GLARE	U1	U2	U3	U4		5.303.3.4 Faucets and fountains. 5.303.3.4.1 Nonresidential Lavatory faucets. Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi. 5.303.3.4.2 Kitchen faucets Kitchen faucets shall have a maximum flow rate of	PROFESSION
Luminaire greater than 2 MH from property line	G1	G2	G3	G4		not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of	ERIC D. AUSMUS
Luminaire front hemisphere is 1-2 MH from property line	GO	G1	G1	G2		1.8 gallons per minute at 60 psi. 5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than1.8 gallons per minute/20 [rim space (inches) at 60	₩ 09-30-2021 ★
Luminaire front hemisphere is 0.5-1 MH from property line	GO	GO	G1	G1		psij. 5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle.	OF CALIFORNIA
Luminaire back hemisphere is less than 0.5 MH from property line	GO	G0	GO	G1		5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per minute/20 [rim space (inches) at 60 psi].	DATE: OCT 22, 2019
1. IESNA Lighting Zones as defined in the <i>California</i> <i>Code</i> .	0 and 5 are n a Energy Code and	ot applicable; Chapter 10 of	refer to Ligh the <i>Callifornia</i> ,	iting Zones Administrative		Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.	DESIGNED BY: EDA
2. For property lines the lots, the property line reproperty line for purpose property lines that abut property line may be core or public transit corrido	hat abut publi may be conside se of determin t public roadwo nsidered to be wr for the pur	c walkways, bil red to be 5 f ing compliance ays and public the centerlin pose of dete	keways, plazas feet beyond t with this sec transit corr ne of the pub rmining complia	and parking he actual tion. For idors, the lic roadway nce with this		5.303.4 COMMERCIAL KITCHEN EQUIPMENT. 5.303.4.1 Food Waste Disposers. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water.	CHECKED BY: EDA SCALE: AS NOTED PROJECT *
Section. 3. If the nearest proper heights from the back h reduced Backlight nation	erty line is leg emisphere of f	55 than or eq the luminaire d	ual to two mo listribution, th	unting ne applicable		Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation.	15[°]
4. General lighting luminali storage lots shall meet in these areas shall meet	these reduced	such as outdo 1 ratings. Decc 5 for "all ath	or parking, so prative luminai	lles or res located abting"		5.303.5 AREAS OF ADDITION OR ALTERATION. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.3 and 5.303.4 shall apply to new fixtures in additions or areas of alteration to the building.	SHEET NO.
5. If the nearest proper from the front hemisphe reduced Glare rating sho	rty line is less re of the lumi all be met,	s than or equ naire distribut	al to two mou tion, the appli	nting heights cable		5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> and in Chapter 6 of this code.	
							a L

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (INCLUDING JANUARY 1, 2017 ERRAT

INSPECTOR SIGNOFF

SECTION 5.304 OUTDOOR WATER USE 5.304.1 SCOPE. The provisions of Section 5.304, Outdoor Water Use reference the mandatory Model Water Efficiency Landscape Ordinance (MWELO) contained within Chapter 2.7, Division 2, Title 23, California Code of Regulations.

5.304.2 OUTDOOR WATER USE IN LANDSCAPE AREAS EQUAL TO OR GREATER THAN 500 SQUARE FEET. When water is used for outdoor irrigation for new construction projects with an aggregate landscape area equal to or greater than 500 square feet requiring a building or landscape permit, plan check or design review, one of the following shall apply:

- 1. A local water efficient landscape ordinance that is, based on evidence in the record, at least as effective in conserving water as the updated model ordinance adopted by the Department of Water Resouces (DWR) per Government Code Section 65595(c).
- 2. The California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations.

5.304.3 OUTDOOR WATER USE IN REHABILITATED LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN **2,500 SQUARE FEET.** Rehabilitated landscape project with an aggregate landscape area equal to or greater than 2.500 square feet requiring a building or landscape permit, plan check, or design review shall comply with Section 5.304.2, Item 1 or 2.

5.304.4 OUTDOOR WATER USE IN LANDSCAPE AREAS OF 2,500 SQUARE FEET OR LESS. Any project with an aggregate area of 2,500 square feet of less may comply with the performance requirements of MWELO or conform to the prescriptive compliance measures contained in MWELO's Appendix D.

5.304.5 GRAYWATER OR RAINWATER USE IN LANDSCAPE AREAS. For projects using treated or untreated graywater or rainwater captured on site, any lot or parcet within the project that has less than 2.500 square feet of landscape and meets the lot or parcel's landscape water requirement (Estimate Total Water Use) entirely with treated or untreated graywater or through stored rainwater captured on site is subject only to Appendix D Section (5).

1. DWR's Model Water Efficient Landscape Ordinance, definitions and supporting documents are available at the following link: http://water.ca.gov/wateruseefficiency/landscapeordinance/

- 2. A water budget calculator is available at the following link: http://water.ca.gov/wateruseefficiency/landscapeordinance/
- 3. The MWELO prescriptive compliance measure Appendix D may be found at the following link: http://water.ca.gov/wateruseefficiency/landscapeordinance/ In addition, a copy of MWELO Appendix D may be found in Chapter 8 of this code.

5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS [DSA-SS]. For public schools and community colleges, landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resoucres Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations, except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35.

Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of MWELO.

5.304.6.1 Newly constructed landscapes. [DSA-SS] New construction projects with an aggregate landscape area equal to or greater than 500 square feet.

5.304.6.2 Rehabilitated landscapes. [DSA-SS] Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1,200 square feet.

5.304.3 IRRIGATION DESIGN. In new nonresidential construction with at least 1,000 but not more than 2,500 square feet of cumulative landscaped area (the level at which the MWELD applies), install irrigation controllers and sensors which include the following criteria, and meet manufacturer's recommendations.

5.304.3.1 Irrigation controllers. Automatic irrigation system controllers installed at the time of final inspection shall comply with the following:

Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants'needs as weather conditions change

2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.

Note: More information regarding irrigation controller function and DIVISION 5.4 AMATERIAL CONSERVATION AND RESOURCE EFFICIENCY

SECTION 5.401 GENERAL

depth.

5.401.1 SCOPE. The provisions of this chapter shall outline means of achieving material conservation and resource efficiency through protection of buildings from exterior moisture, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, and building commissioning or SECTION 5.402 DEFINITIONS

5.402.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference)

ADJUST. To regulate fluid flow rate and air patterns at the terminal equipment, such as to reduce fan speed or adjust a damper.

BALANCE. To proportion flows within the distribution system, including sub-mains, branches and terminals, according to design quantities.

BUILDING COMMISSIONING. A systematic quality assurance process that spans the entire design and construction process, including verifying and documenting that building systems and components are planned, designed, installed, tested, operated and maintained to meet the owner's project requirements.

ORGANIC WASTE. Food waste, green waste, landscape and pruning wste, nonhazardous wood waste, and food soiled paper waste that is mixed in with food waste.

TEST. A procedure to determine quantitative performance of a system or equipment

SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT 5.407.1 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1403.2 (Weather Protection) and California Energy Code

Section 150, (Mandatory Features and Devices), manufacturer's installation instructions or local ordinance, whichever is more stringent

5.407.2 MOISTURE CONTROL. Employ moisture control measures by the following methods.

5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures.

5.407.2.2 Entries and openings. Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings as follows

5.407.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following:

> An installed awning at least 4 feet in depth. The door is protected by a roof overhang at least 4 feet in

The door is recessed at least 4 feet. Other methods which provide equivalent protection.

5.407.2.2.2 Flashing. Install flashings integrated with a drainage plane.

SIGNOFF

SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 5.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent.

management plan that:

disposal by efficient future use or sale. (source-separated) or collected will be taken. diverted shall be calculated

by weight or volume, but not by both. **5.408.1.2 Waste Management Company.** Utilize a waste management company that can provide ifiable documentation that the percentage of construction and demolition waste verifiable material diverted from the landfill complies with this section.

Note: The owner or contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company. Exceptions to Sections 5.408.1.1 and 5.408.1.2:

diversion or recycle

exist. recycleing facilities

5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirement as approved by the enforcing agency.

5.408.1.4 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

Notes

Sample forms found in "A Guide to the California Green Building Standards Code located at www.bsc.ca.gov/Home/CALGreen.aspx may be used to (Nonresidential)" assist in documenting compliance with the waste management plan. Mixed construction and demolition debris processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

5.408.2 UNIVERSAL WASTE. [A] Additions and alterations to a building or tenant space that meet the scoping provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste materials shall be included in the construction documents.

Note: Refer to the Universal Waste Rule link at: http://www.dtsc.ca.gov/LawsRegsPolicies/Regs/upload/DEAR-A_REGS_UWR_FinalText.pdf

5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.

cest infestation.

Notes

If contamination by disease or pest infestation is suspected, contact the County Agricultural disposal of the material. For a map of know pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. (www.cdfa.ca.gov)

SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS 5.410.1 RECYCLING BY OCCUPANTS. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code 42649.82 (a)(2)(A) et seq shall also be exempt from the organic waste portion of this

section

5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30% or more in floor area, shall provide recycling areas on site. **Exception** Additions within a tenant space resulting in less than a 30% increase in the tenant

space floor area,

5.410.1.2 Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the Public Resources Code Chapter 18 is known as the California Solid Waste Reuse Recycling Access Act of 1991 (Act), and

Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site.

Commissioning requirements shall include:

1.	Owner's or Owner rep
2.	Basis of design.
З,	Commissioning measure
4.	Commissioning plan.
_	

6.	Documentation and tr
7.	Commissioning report.
Exc	eptions:

Unconditioned warehouses of any size. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within unconditioned warehouses. Tenant improvements less than 10,000 square feet as described in Section 303.1.1. Open parking garages of any size, or open parking garage areas, of any size, within a structure.

Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not provide heating and or air conditioning.

Informational Notes

1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 des not performance tests or to adjust and certify individuals to conduct functional balance systems.

2. Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code,

5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance, submit a construction waste

Identifies the construction and demolition waste materials to be diverted from usage, recycling, reuse on the project or salvage for 2. Determines if construction and demolition waste materials will be sorted on-site

bulk mixed (single stream). Identifies diversion facilities where construction and demolition waste material 4. Specifies that the amount of construction and demolition waste materials

Excavated soil and land-clearing debris. Alternate waste reduction methods developed by working with local agencies if facilities capable of compliance with this item do not 3. Demolition waste meeting local ordinance or calculated in consideration of loac

and markets.

Exception: Reuse, either on or off-site, of vegetation or soil contaminated by disease or

Commissioner and follow its direction for recycling or

5.410.2 COMMISSIONING. [N] For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. All occupancies other than

I-occupancies and L-occupancies shall comply with the California Energy Code as prescribed in California Energy Code Section 120.8. For I-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated by the California Energy Code Section 100.0 Scope, all requirements in Sections 5.410.2 through 5.410.2.6 shall apply.

presentative's project requirements.

res shown in the construction documents.

5. Functional performance testing. raining.

INSPECTOR SIGNOFF

> 5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. This documentation shall include the following:

Environmental and sustainability goals. Energy efficiency goals.

Indoor environmental quality requirements.

Project program, including facility functions and hours of operation, and need for after hours operation. Equipment and systems expectations. Building occupant and operation and maintenance (D&M) personnel

expectations. 5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the

building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems

- Heating, ventilation, air conditioning (HVAC) systems and controls.
- Indoor lighting system and controls. Water heating system.
- Renewable energy systems. Water reuse systems.

5.410.2.3 Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to document how the project will be commissioned document how the project will be commissioned.

The commissioning plan shall include the following: General project information. Commissioning goals. Systems to be commissioned. Plans to test systems and components shall include:

An explanation of the original design intent. Equipment and systems to be tested, including the extent of tests. Functions to be tested.

Conditions under which the test shall be performed. Measurable criteria for acceptable performance.

Commissioning team information. Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included.

5.410.2.4 Functional performance testing. [N] Functional performance tests shall demonstrate the correct _____ installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments made.

5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required, including Occupational Safety and Health Act (OSHA) Title 8, Section 5142, and requirements in California Code of Regulations (CCR), other related regulations.

5.410.2.5.1 Systems manual. [N] Documentation of the operational aspects of completed within the systems manual and delivered the building shall be to the building owner or representative. The systems manua shall include the following:

Site information, including facility description, history and current requirements. Site contact information

Basic operations and maintenance, including general site operating procedures, basic troubleshooting, recommended maintenance requirements, site events log.

Major systems. Site equipment inventory and maintenance notes.

A copy of verifications required by the enforcing agency or this code. 7. Other resources and documentation, if applicable.

5.410.2.5.2 Systems operations training. [N] A program for training of the staff for each equipment type and/or appropriate maintenance system shall be developed and documented in the commissioning

report and shall include the following: System/equipment overview (what it is, what it does and with equipment it interfaces). what other systems and/or

- Review and demonstration of servicing/preventive maintenance. Review of the information in the Systems Manual.
- Review of the record drawings on the system/equipment.

5.410.2.6 Commissioning report. [N] A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or representative.

5.410.4 TESTING AND ADJUSTING. Testing and adjusting of systems shall be required for buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1.

5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project:

- HVAC systems and controls. Indoor and outdoor lighting and controls.
- Water heating systems.
- Renewable energy systems. Landscape irrigation systems.
- Water reuse systems,

5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system.

5.410.4.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing

Standards; the National Environmental Balancing Bureau National Bureau Procedural Standards; Associated Air Balance Council National Standards or as approved by the enforcing agency.

5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.

5.410.4.5 Operation and maintenance (O & M) manual. Provide the building owner or representative with detailed operating and maintenance instructions and copies of guaranties/warranties for each system. 🛛 & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations.

5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.

	DIVISION 5.5 ENVIRONMENTAL QUALITY	AUSMUS
τ Λ \	5.501.1 SCOPE. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors. SECTION 5.502 DEFINITIONS 5.502.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference)	
	ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route.	AUSMUS ENGINEERING 3311 PENZANCE AVE
SIGNOFF	A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting adjustments have been made.	CHICO, CA 95913 PH: (530) 521-2648 ericausmus@gmail.com
	1 BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu, the amount of heat required to melt a ton (2,000 pounds) of ice at 32 ⁰ Fahrenheit.	
	COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn.	
	COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a).	NG
	DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a 24-hour period with a 10 dB adjustment added to sound levels occurring	
	during nighttime hours (10p.m. to 7 a.m.). DECIBEL (db). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, sound power, sound intensity) with respect to a reference quantity.	
	ELECTRIC VEHICLE (EV). An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the <i>California Electrical Code</i> , off-road, self-propoelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, ainline around support equipment, tractors, boats, and the like, are not included.	TENANCE →L DING ILDING
	ELECTRIC VEHICLE CHARGING STATION(S) (EVCSj). One or more spaces intended for charging electric vehicles.	
	ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.	MA
	ENERGY EQUIVALENT (NOISE) LEVEL (Leq). The level of a steady noise which would have the same energy as the fluctuating noise level integrated over the time of period of	
	interest. EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections.	HORIT VE 93
	FREEWAY.A divided arterial highway with full control of access and with grade separations at intersections.	
	GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greenhouse gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one.	KG A ESE
	GLOBAL WARMING POTENTIAL VALUE (GWP VALUE) . A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995); or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of Table 2.14.; the AR4 GWP values are found in column "100 yr" of Table 2.14.	HOUSIN MIL
	HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a hdrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (B) any ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).	ONAL 384 YUB
	LONG RADIUS ELBOW.Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.5 times the pipe diameter.	
	LOW-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).	
	MERV. Filter minimum efficiency reporting value, based on ASHKAE 52.2-1999. MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Droanic Gas (RDG) Mixture" per weight of	
	compound added, expressed to hundreths of a gram (g \square^3 /g R \square C). PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container	
	and packaging). PSIG. Pounds per square inch, guage.	
	REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.	
	SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter.	DATE '
	SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units.	
	VOC. A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a)	PROFESS/ONAL ERIC D.
	Note: Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in guestion.	₩ ₩ ₩ 09-30-2021
	SECTION 5.503 FIREPLACES 5.503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6,	OF CALIFORNIA
	Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances. 5.503.1.1 Woodstoves. Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified	DATE: OCT 22, 2019
	to meet the emission limits.	DESIGNED BY: EDA DRAWN BY: EDA CHECKED BY: EDA
	SECTION 5.504 POLLUTANT CONTROL 5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if necessary to condition the building or areas of addition or alteration within the required temperature range for	SCALE: AS NOTED PROJECT *
	material and equipment installation. If the HVAL system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992 Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction.	PAGE OF 16
	5.504.3 Covering of duct openings and protection of mechanical equipment during construction . At the time of rough installation, or during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may collect in the system.	SHEET NO.

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 3 (INCLUDING JANUARY 1, 2017 ERRATA)

CURRENT VOC LIMIT

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY

INSPECTOR SIGNOFF

SIGNOFF

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards: Adhesives, adhesive bonding primers adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.

Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other prohibitions on use of certain toxic requirements, including compounds, of California Code of Regulations, Title 17, commencing with Section

TABLE 2.204.4.1 - ADHESIVE	VUU LIMI 1,2
Less Water and Less Exempt Compou Liter	unds in Grams per
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
DUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY R□DF MEMBRANE ADHESIVES	250
DTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
P∨C WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURP⊡SE C⊡NTACT ADHESIVE	250
STRUCTURAL W□□D MEMBER ADHESIVE	140
T⊡P & TRIM ADHESI∨E	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80
	1

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TDGETHER, THE ADHESIVE WITH THE HIGHEST VDC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO

MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CURHTML/R1168.PDF

TABLE J.JU4.4.2 - SEALANT	VUC LIMII
Less Water and Less Exempt Comp Liter	ounds in Grams per
SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
DTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
DTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VIIC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PWMIR Limits for RDC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the urisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS23

FLAT COA NONFLAT NONFLAT SPECIALTY ALUMINUM BASEMENT BITUMINOL BITUMINOL BOND BRE CONCRETE CONCRETE DRIVEWAY DRY FOG FAUX FIN FIRE RES FLOOR CO FORM-REL GRAPHIC HIGH-TEM INDUSTRIA LOW SOLI MAGNESIT MASTIC ' METALLIC MULTICOL PRETREAT PRIMERS, REACTIVE RECYCLED ROOF COA RUST PRE SHELLACS CLEAR DPAQUE SPECIALT STAINS STONE CE SWIMMING TRAFFIC

TUB & TILE REFINISH COATINGS WATERPROOFING MEMBRANES WOOD COATINGS

5.504.4.3.2 Verification. Verification of compliance with this section shall be the enforcing agency. Documentation may provided at the request of include, but is not limited to, the following: Manufacturer's product specification

1.1, February or Specification 01350).

Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7.0 and EQ 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High Performance Product Database.

interior shall meet the

requirements of Table 5.504.4.1. 5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.). Those materials not exempted under the ATCM must meet the 5.504.4.5. specified emission limits, as shown in Table

shall be provided as

93120, et seq.). PS-2 standards of the INSPECTOR SIGNOFF

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS1 MAXIMUM FORMAL DEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
TUIN MEDIUM DENSITY EIDEDDOADD	0.12

I HIN MEDIUM DENSITY FIBERBUARD2 VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM). 5.504.4.6 Resilient flooring systems. For 80 percent of floor area receiving resilient flooring,

resilient flooring shall meet at least one of the following installed Certified under the Resilient Floor Covering Institute (RFCI) FloorScore

program, Compliant with the $V\square C$ -emission limits and testing requirements specified in Department of Public Health's 2010 Standard Method the California for the Testing and Evaluation Chambers, Version 1.1, February 2010; Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for EQ 7. and EQ 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High

DataBase; or 4. Products certified under UL GREENGUARD Gold (formerly the Greenguard Program). Children's & Schools

5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.

5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

Exceptions:

An ASHRAE 10% to 15% efficiency filter shall be permitted for an HVAC unit meeting the 2013 California Energy Code having 60,000 Btu/h or less capacity per fan coil, if the energy use of the air W/cfm or less at design air flow.

Existing mechanical equipment.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions. SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1203 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures not applicable to low-rise residential occupancies, see Section 5.407.2 of this code

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.

5.506.2 CARBON DIOXIDE (CO2) MONITORING. For buildings or additions equipped with demand control ventilation, CD2 sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4). SECTION 5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Dutdoor-Indoor Sound Transmission Class (DITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

Exception: Buildings with few or no occupants or where occupants are not likely to be noise, as determined by the enforcement authority, such as affected by exterior factories, stadiums, storage, enclosed parking structures and utility buildings.

Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all subsections apply only to new construction.

5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite DITC rating of no less than 40, with exterior windows of a minimum STC of 40 or DITC of 30 in the following locations

1. Within the 65 CNEL noise contour of an airport.

Exceptions

a. Lan or CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICUZ) plan. b. Lon or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element.

2. Within the 65 CNEL or Lan noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan.

5.507.4.1.1. Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L_{eq} - 1-hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or DITC 35), with exterior windows of a minimum STC of 40 (or DITC 30).

5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1Hr) of 50 dBA in occupied areas during any hour of operation.

5.507.4.2.1 Site Features. Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior.

5.507.4.2.2 Documentation of Compliance. An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record.

5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.

Note: Examples of assemblies and their various STC ratings may be found at the Noise Control: California Office of www.toolbase.org/PDF/CaseStudies/stc_icc_ratings.pdf.

SECTION 5.508 OUTDOOR AIR QUALITY

5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not contain CFCs.

5.508.1.2 Halons. Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.

5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

TINGS	50
COATINGS	100
HIGH GLOSS COATINGS	150
COATINGS	
RODF COATINGS	400
SPECIALTY COATINGS	400
JS ROOF COATINGS	50
JS ROOF PRIMERS	350
AKERS	350
CURING COMPOUNDS	350
/MASONRY SEALERS	100
(SEALERS	50
COATINGS	150
ISHING COATINGS	350
ISTIVE COATINGS	350
ATINGS	100
EASE COMPOUNDS	250
ARTS COATINGS (SIGN PAINTS)	500
PERATURE COATINGS	420
AL MAINTENANCE COATINGS	250
DS COATINGS1	120
E CEMENT COATINGS	450
EXTURE COATINGS	100
PIGMENTED COATINGS	500
DR CDATINGS	250
MENT WASH PRIMERS	420
SEALERS, & UNDERCOATERS	100
PENETRATING SEALERS	350
COATINGS	250
TINGS	50
VENTATIVE COATINGS	250
1	
	730
	550
Y PRIMERS, SEALERS & UNDERCOATERS	100
	250
NSOLIDANTS	450
POOL COATINGS	340
MARKING COATINGS	100
LE REFINISH COATINGS	420

WODD PRESERVATIVES 350 ZINC-RICH PRIMERS 340 1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

250

275

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

Field verification of on-site product containers

5.504.4.4 Carpet Systems. All carpet installed in the building interior shall meet at least one of the testing and product requirements:

> Carpet and Rug Institute's Green Label Plus Program. Compliant with the VOC-emission limits and testing requirements

specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 2010 (also Known as CDPH Standard Method V1.1

> NSF/ANSI 140 at the Gold level or higher Scientific Certifications Systems Sustainable Choice; or

5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building requirements of the Carpet and Rug Institute Green Label program.

5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the

5.504.4.5.3 Documentation. Verification of compliance with this section requested by the enforcing agency. Documentation shall include at least one of the following:

Product certifications and specifications.

Chain of custody certifications.

Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section

4. Exterior grade products marked as meeting the PS-1 or Engineered Wood Association, the Australian AS/NZS 2269 or European 636 3S

> standards. Other methods acceptable to the enforcing agency.

methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific

the appropriate section or identified applicable checklist.

documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in

PAGE

SHEET NO.

OF

A. PROJECT GENERAL INFORMATION				
Compliance Scope:	NewComplete	Input File Name:	Regional Housing Authority.cibd16x	
Project Address:	384 Miles Avenue Yuba City 95993	Calculation Date/Time:	10:03, Fri, Oct 25, 2019	
Project Name:	Nonresidential Building	NRCC-PRF-01-E	Page 1 of 19	

1.	Project Location (city)	Yuba City	8.	Standards Version	Compliance2016
2.	CA Zip Code	95993	9.	Compliance Software (version)	EnergyPro 7.2
3.	Climate Zone	11	10.	Weather File	YUBA-CO_724838_CZ2010.ep
4.	Total Conditioned Floor Area in Scope	1,298 ft ²	11.	Building Orientation (deg)	(E) 90 deg
5.	Total Unconditioned Floor Area	718 ft ²	12.	Permitted Scope of Work	NewComplete
6.	Total # of Stories (Habitable Above Grade)	1	13	Building Type(s)	Nonresidential
7.	Total # of dwelling units	0	14	Gas Туре	Propane

B. COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kBtu/ft ²-yr)

BUILDING COMPLIES								
1. Energy Component	2. Standard Design (TDV)	3. Proposed Design (TDV)	4. Compliance Margin (TDV)	5. Percent Better than Standard				
Space Heating	39.78	86.02	-46.24	-116.2%				
Space Cooling	75.68	98.81	-23.13	-30.6%				
Indoor Fans	79.11	47.30	31.81	40.2%				
Heat Rejection								
Pumps & Misc.								
Domestic Hot Water	20.04	18.60	1.44	7.2%				
Indoor Lighting	60.24	22.53	37.71	62.6%				
COMPLIANCE TOTAL	274.85	273.26	1.59	0.6%				
Receptacle	70.92	70.92	0.0	0.0%				
Process	27.04	27.04	0.0	0.0%				
Other Ltg				~				
Process Motors				×				
TOTAL	372.81	371.22	1.6	0.4%				

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583

-										
Project Nan	me:	Nonresidential Building			NRCC-PRF-01-E Page 4 of 19					
Project Add	Project Address: 384 Miles Avenue Yuba City 959		y 95993		Calculation Date/Time:			10:03, Fri, Oct 25, 2019		
Compliance	e Scope:	NewComplete			Input Fil	e Name:	R	Regional Housing Authority.ci	bd16x	
G. COMPL	IANCE PAT	H & CERTIFICATE OF COM	PLIANCE SUMMARY							
The follow	ving building	components are only eligible relevant to the	for prescriptive compliance. Indicate which are e project.	T	he follow	ving building	compo N	onents may have mandatory which are relevant to the pro	requiremen oject.	
Yes	NA	Prescriptive Requirement	Compliance Forms	3	Yes	NA	Ma	andatory Requirement	Cor	
		Lighting (Indoor Unconditioned) §140.6	NRCC-LTI-01 / 02 / 03 / 04 / 05-E			M	C	ommissioning: §120.8 Simple Systems Complex Systems	NRCC-CXR- NRCC-CXR-	
	\boxtimes	Lighting (Outdoor) §140.7	NRCC-LTO-01 / 02 / 03-E			\boxtimes		Electrical: §130.5	NRCC-ELC-0	
	\boxtimes	Lighting (Sign) §140.8	NRCC-LTS-01-E			\boxtimes	:	Solar Ready: §110.10	NRCC-SRA-	
	⊠	Solar Thermal Water Heating: §140.5	NRCC-STH-01-E			M MM M M M M M M M M M M M M M M M M M	Co Wi	overed Process: §120.6 Parking Garage mmercial Refrigeration arehouse Refrigeration Compressed Air Process Boilers	NRCC-PRC- NRCC-PRC- NRCC-PRC- NRCC-PRC- NRCC-PRC- NRCC-PRC-	

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583

Project N	Name:	Nonre	onresidential Building NRCC-PRF-01-E					Page 7 of 19	
Project A	Address:	384 M	34 Miles Avenue Yuba City 95993 Calculation Date/Time: 10:03, Fri, Oct 25, 2019					, Fri, Oct 25, 2019	
Complia	nce Scope:	NewC	NewComplete Input File Name: Regional Housing Authority.cibd						16x
H. CERT Docume (Retain See Tab	TIFICATE OF IN entation Author copies and ver les G. and H. ir	STALLA or to inc rify form n MCH a	TION, CERTIFIC dicate which Ce ns are complet and LTI Details	CATE OF ACCEPTANCE & CERTIFICAT ertificates must be submitted for th ed and signed to post in field for Fi Sections for Acceptance Tests and f	re OF VER e features eld Inspec forms by e	IFICATION SUMMARY (NRCI to be recognized for complia tor to verify). equipment.	/NRCA , ance	/NRCV) –	
Building	Component		Compliance For	rms (required for submittal)					Pass
			□ NRCI-PRC-01	I-E Covered Processes					
			□ NRCA-PRC-0	01-F- Compressed Air Systems					
			□ NRCA-PRC-0	02-F- Kitchen Exhaust					
			□ NRCA-PRC-0	03-F- Garage Exhaust					
Covered	Process		NRCA-PRC-04-F- Refrigerated Warehouse- Evaporator Fan Motor Controls						
			NRCA-PRC-05-F- Refrigerated Warehouse- Evaporative Condenser Controls						
			NRCA-PRC-06-F- Refrigerated Warehouse- Air Cooled Condenser Controls						
			NRCA-PRC-07F- Refrigerated Warehouse- Variable Speed Compressor						
□ NRCA-PRC-				3-F- Electrical Resistance Underslab Heating System					
I. ENVE	LOPE GENERA	L INFOF	RMATION (See	NRCC-PRF-ENV-DETAILS for more i	nformati	on)			
1.	Total Condition	ned Floo	r Area	1,298 ft ²	5.	Number of Floors Above Grade		1	
2.	Total Uncondit	ioned Fl	oor Area	718 ft ²	6.	Number of Floors Below Grade		0	
3.	Addition Cond	itioned I	Floor Area	0 ft ²					
4.	Addition Unco	nditione	d Floor Area	0 ft ²					
7. Opaq	ue Surfaces & O	rientatio	on	8. Total Gross Surface Area		9. Total Fenestration Area		10. Window to Wall Ra	
North W	/all			255 ft ² 48 ft ²			18.9		
East Wall				415 ft ² 24 ft ²			05.8		
South W	/all				0 ft ²		0 ft ²		00.0
West Wa	all				421 ft ²		0 ft ²		00.0
			Total		1,091 ft ²		72 ft ²		06.6
Roof					1,298 ft ²		0 ft ² 00.0		

	Project Nam	ne:	Nonresidential Building		NRCC-PRF-01-E	Page 2 of 19			
	Project Add	ress:	384 Miles Avenue Yuba City 95993		Calculation Date/Time:	10:03, Fri, Oct 25, 2019			
	Compliance	Scope:	NewComplete		Input File Name:	Regional Housing Authority.cibd16x			
	C. PRIORI					•			
	C. PRIORIT	C. PRIORITY PLAN CHECK/ INSPECTION ITEMS (in order of hig		est to lowest TDV energy savin	gs)				
	1st Indoor Lighting: Check lighting		g: Check lighting	Compliance Margin By Energy Component (from Table B column 4)					
	2nd	Indoor Fans: (Check envelope and mechanical	Indoor	Lighting				
w	3rd	Domestic Hot	Water: Check mechanical	Indo	oor Fans				
	4th	Heat Rejectio	n: Check envelope and mechanical	Domestic H	ot Water	-			
	5th	Pumps & Mise	:.: Check mechanical	Heat F	Rejection				
	6th	Space Cooling	: Check envelope and mechanical	Pumps	& MISC.				
		20		Space	Heating				
	7th	Space Heating	: Check envelope and mechanical	opuoo	riedding				
\$ 140.1						Penalty Energy Credit			
	D. EXCEPT	IONAL CONT	DITIONS						
tter than Standard	This project	uses the Sim	olified Geometry Performance Modeling Appr	oach which is not capable cf mod	eling daylighting controls	and assumes the prescriptive Secondary Daylit Contro			
-116.2%	requiremen	ts are met. PF	ESCRIPTIVE COMPLIANCE documentation (for	m NRCC-LTI-02-E) for the require	ments of section 140.6(d)	Automatic Daylighting Controls in Secondary Daylit Zo			
-30.6%	This project	includes Don	pactic Hot Water in the analysis. Please verify t	that Domestic Hot Water is includ	ed in the design for the po	armitted scope of work			
40.2%	This project	Includes Don	iestic flot water in the analysis. Flease verify	that Domestic Hot water is includ					
	E. HERS VE	RIFICATION							
	This Section	Does Not An	alv.						
7.2%		I DUES NUL AP							
62.6%	F. ADDITIO	NAL REMA	RKS						
0.6%	None Provid	led							
0.0%	None Flovic								

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583

Project Name:	Nonresidential B	uilding			NRCC-PRF-01-E	Page 3 of 19			
Project Address:	384 Miles Avenu	e Yuba Cit	y 95993		Calculation Date/Time:	10:03, Fri, Oct 25, 2019			
Compliance Scope:	NewComplete				Input File Name:	Regional Housing Authority.cibd16x			
		0.5 0.0145			•	•			
G. COMPLIANCE PAIL	A & CERTIFICATE	OF COMI	LIANCE SUMIV				_		
		lentify whi	ch building com	ponents use the performance or pre	escriptive path for complian	nce. "NA"= not in project			
	For	componer	its that utilize the	e performance path, indicate the sr	neet number that includes	mandatory notes on plans.			
Building Component		Com	oliance Path	Compliance Forms (required for	submittal)		Location of Mandatory Notes or Plans		
			Performance	NRCC-PRF-ENV-DETAILS (section	of the NRCC-PRF-01-E)				
nvelope			Prescriptive	NRCC-ENV-01 / 02 / 03 / 04 / 05	/ 06-E				
			NA						
		\boxtimes	Performance	NRCC-PRF-MCH-DETAILS (section	n of the NRCC-PRF-01-E)				
vlechanical			Prescriptive	NRCC-MCH-01 / 02 / 03 / 04 / 05					
			NA						
		\boxtimes	Performance	NRCC-PRF-PLB-DETAILS (section	of the NRCC-PRF-01-E)				
Domestic Hot Water			Prescriptive	NRCC-PLB-01-E					
			NA						
			Performance	NRCC-PRF-LTI-DETAILS (section o	of the NRCC-PRF-01-E)				
ighting (Indoor Conditi	oned)		Prescriptive	NRCC-LTI-01 / 02 / 03 / 04 / 05-E					
			NA						
Covered Presses			Performance	S2 (section of the NRCC-PRF-01-					
Commercial Kitchens			Prescriptive	NRCC-PRC-01/03-E					
		⊠	NA						
Covered Process:			Performance	S3 (section of the NRCC-PRF-01-	E)				
Covered Process: Computer Rooms			Prescriptive	NRCC-PRC-01/04-E					
			NA						
Covered Process:			Performance	S4 (section of the NRCC-PRF-01-	E)				
aboratory Exhaust			Prescriptive	NRCC-PRC-01/09-E					
		\boxtimes	NA						

Report Generated at: 2019-10-25 10:03:34

per Part 6. Indicate
liance Forms
/ 02 / 03 / 05-E
/ 02 / 04 / 05-E
F
L
/ 02-Е
·Е
Е
·Е
/07/08-E
·Е
·Е

Project Name:	Nonresidential Building	NRCC-PRF-01-E	Page 5 of 19							
Project Address:	384 Miles Avenue Yuba City 95993	Calculation Date/Time:	10:03, Fri, Oct 25, 2019							
Compliance Scope:	NewComplete	Input File Name:	Regional Housing Authority.cibd	16x						
H. CERTIFICATE OF INS Documentation Autho (Retain copies and veri See Tables G. and H. in	TALLATION, CERTIFICATE OF ACCEPTANCE & CERTIFICATE OF VERIFIC to indicate which Certificates must be submitted for the features to b fy forms are completed and signed to post in field for Field Inspector to MCH and LTI Details Sections for Acceptance Tests and forms by equi	ATION, CERTIFICATE OF ACCEPTANCE & CERTIFICATE OF VERIFICATION SUMMARY (NRCI/NRCA/NRCV) – ndicate which Certificates must be submitted for the features to be recognized for compliance rms are completed and signed to post in field for Field Inspector to verify). H and LTI Details Sections for Acceptance Tests and forms by equipment.								
Building Component	Compliance Forms (required for submittal)			Pass	Fail					
Envelope	NRCI-ENV-01-E - For all buildings									
Envelope	☑ NRCA-ENV-02-F- NFRC label verification for fenestration									
	☑ NRCI-MCH-01-E - For all buildings with Mechanical Systems									
	NRCA-MCH-02-A- Outdoor Air									
	NRCA-MCH-03-A – Constant Volume Single Zone HVAC									
	NRCA-MCH-04-H- Air Distribution Duct Leakage									
	NRCA-MCH-05-A- Air Economizer Controls									
	NRCA-MCH-06-A- Demand Control Ventilation	NRCA-MCH-06-A- Demand Control Ventilation								
	NRCA-MCH-07-A – Supply Fan Variable Flow Controls	NRCA-MCH-07-A – Supply Fan Variable Flow Controls								
	NRCA-MCH-08-A- Valve Leakage Test	NRCA-MCH-08-A- Valve Leakage Test								
	□ NRCA-MCH-09-A – Supply Water Temp Reset Controls	NRCA-MCH-09-A – Supply Water Temp Reset Controls								
Mechanical	NRCA-MCH-10-A- Hydronic System Variable Flow Controls									
	NRCA-MCH-11-A – Auto Demand Shed Controls	NRCA-MCH-11-A – Auto Demand Shed Controls								
	NRCA-MCH-12-A- Packaged Direct Expansion Units	NRCA-MCH-12-A- Packaged Direct Expansion Units								
	□ NRCA-MCH-13-A- Air Handling Units and Zone Terminal Units	NRCA-MCH-13-A- Air Handling Units and Zone Terminal Units								
	NRCA-MCH-14-A- Distributed Energy Storage	NRCA-MCH-14-A- Distributed Energy Storage								
	NRCA-MCH-15-A – Thermal Energy Storage	NRCA-MCH-15-A – Thermal Energy Storage								
	NRCA-MCH-16-A- Supply Air Temp Reset Controls	NRCA-MCH-16-A- Supply Air Temp Reset Controls								
	□ NRCA-MCH-17-A – Condensate Water Temp Reset Controls	NRCA-MCH-17-A – Condensate Water Temp Reset Controls								
	NRCA-MCH-18-A- Energy Management Controls Systems									
	NRCV-MCH-04-H- Duct Leakage Test									

Project Address:	384 Miles Avenue Yuba City 95993	Calculation Date/Time:	10:03, Fri, Oct 25, 2019				
Compliance Scope:	NewComplete	Regional Housing Authority.cibd1	L6x				
H. CERTIFICATE OF IN Documentation Autho (Retain copies and ve See Tables G. and H. i	STALLATION, CERTIFICATE OF ACCEPTANCE & CERTIFICATE OF VER or to indicate which Certificates must be submitted for the feature ify forms are completed and signed to post in field for Field Inspec n MCH and LTI Details Sections for Acceptance Tests and forms by	RIFICATION SUMMARY (NRCI, s to be recognized for complia ctor to verify). equipment.	/NRCA/NRCV) – Ince	Confir	rmed		
Building Component	Compliance Forms (required for submittal)			Pass	F		
	🛛 NRCI-PLB-01-E - For all buildings with Plumbing Systems				[
	NRCI-PLB-02-E - required on central systems in high-rise resident of the system of	dential, hotel/motel application.			[
	NRCI-PLB-03-E - Single dwelling unit systems in high-rise resident of the system of	dential, hotel/motel application.			[
Plumbing	NRCI-PLB-21-E - HERS verified central systems in high-rise res	idential, hotel/motel application			[
FIUTIDING	NRCI-PLB-22-E - HERS verified single dwelling unit systems in	high-rise residential, hotel/mote	l application.]		
	NRCV-PLB-21-H- HERS verified central systems in high-rise response to the system of	sidential, hotel/motel application]		
	NRCV-PLB-22-H - HERS verified single dwelling unit systems in	n high-rise residential, hotel/mot	el application.		[
	NRCI-STH-01-E - Any solar water heating		I				
	🛛 NRCI-LTI-01-E - For all buildings		[
	NRCI-LTI-02-E - Lighting control system, or for an Energy Man		[
	NRCI-LTI-03-E - Line-voltage track lighting integral current lim energize only line-voltage track lighting	NRCI-LTI-03-E - Line-voltage track lighting integral current limiter, or for a supplementary overcurrent protection panel used to energize only line-voltage track lighting					
	NRCI-LTI-04-E - Two interlocked systems serving an auditorium	m, a convention center, a confere	nce room, or a theater		[
Indoor Lighting	NRCI-LTI-05-E - Lighting Control Credit Power Adjustment Face	tor (PAF)			[
	NRCI-LTI-06-E - Additional wattage installed in a video conference	encing studio			[
	NRCA-LTI-02-A - Occupancy sensors and automatic time swite	ch controls.			[
	NRCA-LTI-03-A - Automatic daylighting controls				[
	NRCA-LTI-04-A - Demand responsive lighting controls				[
	NRCI-LTO-01-E – Outdoor Lighting				Į		
Outdoor Lighting	NRCI-LTO-02-E- EMCS Lighting Control System		I				
	NRCA-LTO-02-A - Outdoor Lighting Control				ļ		
Sign Lighting	□ NRCI-LTS-01-E – Sign Lighting				[
Electrical	NRCI-ELC-01-E - Electrical Power Distribution				Į		
Photovoltaic	NRCI-SPV-01-E Photovoltaic Systems				ļ		

(
Co	nfi	rmed				
Pass			Fail			
		Confi	rmed			
		Р	п			
		ass	ai			
Vall Ratio						
18.9%						
05.8%						
00.0%						
00.0%						
06.6%						
00.0%						

Report Generated at: 2019-10-25 10:03:34

Project Name:	Nonresid	Nonresidential Building							Page 8 of 19							
Project Address:	384 Mile	384 Miles Avenue Yuba City 95993						ïme:	10:03, Fri	Oct 25, 201	.9					
Compliance Scope:	NewCom	NewComplete							Regional Housing Authority.cibd16x							_
J. FENESTRATION ASS	SEMBLY SU	MMARY										§ 110.	.6	c	Confirr	me
1.			2.	3.		4.			5.	6.	7.	8.	9).		T
Fenestration Assembly Name / Fenestration Tag or I.D. / F			Type / Product Type ame Type	Certification Me	ethod ¹	Asse	embly Method		Area ft ²	Overall U-factor	Overall SHGC	Overa VT	all a	C+=+11c2	Pass	Fall
Dual Pane Aluminur	m Low-E	Vertica Opera	lFenestration ableWindow N/A	NFRC Rate	d	М	anufactured		72	0.46	0.22	0.50	1 (N		
3	int for tertest	tration shading	devices? (if "Yes", see	e NRCC-PRF-ENV-D	ETAILS for r	nore inf	ormation)								No	
K. OPAQUE SURFACE	ASSEMBL	SUMMARY	devices? (if "Yes", se	e NRCC-PRF-ENV-D	ETAILS for r	nore inf	ormation)				§ 120.7/	§ 140.3	3	c	No Confirm	ne
C. OPAQUE SURFACE Surface	ASSEMBLY 1.	/ SUMMARY	devices? (if "Yes", se	e NRCC-PRF-ENV-D	ETAILS for r	8. (#2)	4. Framing	5 Cav	ity C	6. ontinuous	§ 120.7/ § 7 U-Factor /	§ 140.3 7. / F-Facto	3 or 5		No Confirr Pass	me
K. OPAQUE SURFACE	ASSEMBLY 1. ce Name	Y SUMMARY	devices? (if "Yes", se : : : : : : : : : : : : : : : : :	e NRCC-PRF-ENV-D 2. ce Type	ETAILS for r	s. (ft²)	4. Framing Type	5 Cav R-Va	ity C Ilue	6. ontinuous R-Value	§ 120.7/ § 7 U-Factor / / C-Fa	§ 140.3 7. / F-Factor actor	3 or 60	C Ctaturi	No Confirr Pass	me
K. OPAQUE SURFACE Surfac	ASSEMBLY 1. ce Name	Y SUMMARY	devices? (if "Yes", se : Surfac Exteri	e NRCC-PRF-ENV-D 2. ce Type iorWall	Area	nore inf . (ft ²) 91	4. Framing Type Wood	5 Cav R-Va	ity C ilue	6. ontinuous R-Value NA	§ 120.7/ § 7 U-Factor / / C-Fa U-Facto	§ 140.3 7. / F-Factor actor r: 0.072	s or a b	C	No Confirr Pass	
K. OPAQUE SURFACE Surfac R-19 R-30 Rc	ASSEMBLY 1. ce Name 9 Wall7 poof Attic14	/ SUMMARY	devices? (if "Yes", se : Surfac Exteri Ri	e NRCC-PRF-ENV-D 2. ce Type iorWall oof	Area 10	nore inf 6. (ft ²) 91 98	4. Framing Type Wood Wood	5 Cav R-Va 1 3	ity C lue C	6. ontinuous R-Value NA NA	§ 120.7/ § 7 U-Factor / / C-Fa U-Facto U-Facto	§ 140.3 7. / F-Factor actor r: 0.072 r: 0.038	3 or 6 5 1	C	No Confirr Pass	me Fall
K. OPAQUE SURFACE Surfac R-19 R-30 Rd Slab Or	ASSEMBLY 1. ce Name 9 Wall7 pof Attic14 n Grade16	/ SUMMARY	devices? (if "Yes", se Surfac Exteri Ri Undergro	e NRCC-PRF-ENV-D 2. ce Type iorWall oof oundFloor	ETAILS for r a Area 10 12 20	nore inf 6. (ft ²) 91 98 16	4. Framing Type Wood Wood NA	5 Cav R-Va 1 3	ity C ilue C	6. ontinuous R-Value NA NA NA	§ 120.7/ § 7 U-Factor / / C-Fa U-Facto U-Facto F-Facto	§ 140.3 7. / F-Factor actor r: 0.072 r: 0.038 r: 0.730	3 or 6 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	C 3. Atatical 2 1	No Confirr Pass	
K. OPAQUE SURFACE Surfac R-15 R-30 Rc Slab Or R-0	ASSEMBLY 1. ce Name 9 Wall7 pof Attic14 n Grade16 Wall50		devices? (if "Yes", se Surfac Exteri Ri Undergri Exteri	e NRCC-PRF-ENV-D 2. ce Type iorWall oof oundFloor iorWall	Area 10 20 7:	nore inf 6. 91 98 16 11	4. Framing Type Wood Wood NA Wood	5 Cav R-Va 1 3 (ity C lue C	6. ontinuous R-Value NA NA NA NA	§ 120.7/ § 7 U-Factor / / C-Fa U-Facto U-Facto F-Facto U-Facto	§ 140.3 / F-Factor r: 0.072 r: 0.038 r: 0.730 r: 0.537	3 xor 55 2 N 2 N	C	No Confirm Pass	
K. OPAQUE SURFACE Surfac R-19 R-30 Ro Slab Or R-0 Ro	ASSEMBLY 1. Ce Name 9 Wall7 pof Attic14 n Grade16 Wall50 of Attic57	/ SUMMARY	devices? (if "Yes", se Surfac Exteri Undergro Exteri Ri	e NRCC-PRF-ENV-D 2. ce Type iorWall oondFloor iorWall oof	ETAILS for r Area 10 12 20 7: 7:	nore inf (ft ²) 91 98 16 11 18	4. Framing Type Wood Wood NA Wood Wood	5 Cav R-Va 1 3 ((((ity C lue C D D D	6. ontinuous R-Value NA NA NA NA NA	§ 120.7/ 9 U-Factor / / C-Fa U-Facto U-Facto F-Factor U-Facto U-Facto U-Facto	§ 140.3 / F-Factor actor r: 0.072 r: 0.038 r: 0.730 r: 0.537 r: 0.293	3 or 5 . N . N	C 3. Kratura ¹ 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	No Confirr Pass	
K. OPAQUE SURFACE Surfac R-19 R-30 Rc Slab Or R-0 R-0 Rc R-0 Rc R-0 Rc R-0 Rc R-0 Rc R-0 Rc	ASSEMBLY 1. Ce Name 9 Wall7 pof Attic14 n Grade16 Wall50 of Attic57 E - Existing	/ SUMMARY	devices? (if "Yes", se Surfac Exteri Ri Undergri Exteri Ri	e NRCC-PRF-ENV-D 2. ce Type iorWall oof oundFloor iorWall oof	ETAILS for r a Area 10 12 20 7: 7:	nore inf (ft ²) 91 98 16 11 18	4. Framing Type Wood Wood NA Wood Wood	5 Cav R-Va 1 3 ((((((ity C llue C 9	6. ontinuous R-Value NA NA NA NA NA	§ 120.7/ 9 7 U-Factor / / C-Fa U-Facto U-Facto U-Facto U-Facto U-Facto	§ 140.3 / F-Facturactor r: 0.072 r: 0.038 r: 0.730 r: 0.537 r: 0.293	3 xor 2 2 1 3 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	C 3. Ktatus ¹ V V V V V V V V V V V V V V V V V V V	No Confirr Pass I I I I	
K. OPAQUE SURFACE Surfac R-19 R-30 Ro Slab Or R-0 Ro Status: N - New, A – Altered, E L. ROOFING PRODUC	ASSEMBLY 1. ce Name 9 Wall7 pof Attic14 in Grade16 Wall50 of Attic57 E - Existing CT SUMMA	ration shading (SUMMARY	devices? (if "Yes", se Surfac Exteri Ri Undergro Exteri Ri	e NRCC-PRF-ENV-D 2. ce Type iorWall ooof iorWall oof	ETAILS for r Area 10 12 20 7: 7:	nore inf (ff ²) 91 98 16 11 18	4. Framing Type Wood Wood NA Wood Wood	5 Cav R-Va 1 3 ((((ity C Jue C Jue Jue Jue Jue Jue Jue Jue Jue Jue Jue	6. ontinuous R-Value NA NA NA NA NA	§ 120.7/ 9 V-Factor / / C-Fa U-Facto U-Facto F-Factor U-Facto U-Facto	§ 140.3 / F-Factor actor r: 0.072 r: 0.038 r: 0.730 r: 0.537 r: 0.293	3 3 2 1 3 2 1 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	C 3. Krather 4 1 1 4 1 4 1 4 1 4 1 4 1 4 1 4		
K. OPAQUE SURFACE Surfac R-19 R-30 Rc Slab Or R-0 R-0 Rc Status: N - New, A – Altered, E L. ROOFING PRODUC	ASSEMBLY 1. Ce Name 9 Wall7 pof Attic14 n Grade16 Wall50 of Attic57 = Existing CT SUMMA 1.	Y SUMMARY	devices? (if "Yes", see Surfac Exteri Ri Undergri Exteri Ri 2.	e NRCC-PRF-ENV-D 2. ce Type iorWall ooof iorWall ooof 3.	ETAILS for r Area 10 10 12 20 7: 7: 4.	nore inf (ft ²) 91 98 16 11 18	4. Framing Type Wood Wood NA Wood Wood	5 Cav R-Va 1 3 ((((ity C ilue C	6. ontinuous R-Value NA NA NA NA NA NA	§ 120.7/ 9 7 U-Factor / / C-Fa U-Facto U-Facto U-Facto U-Facto U-Facto	§ 140.3 / F-Factor actor r: 0.072 r: 0.038 r: 0.730 r: 0.537 r: 0.293 // F-Factor // P-Factor // P-	3 3 2 r 3 r 4 5 140.	C 3. Krathur 1 V V V V V V V V V V V V V V V V V V	No Confirr Pass D D D Confirr D	
K. OPAQUE SURFACE Surfac R-19 R-30 Rc Slab Or R-0 R-0 Rc Status: N - New, A – Altered, E L. ROOFING PRODUC	ASSEMBLY 1. ce Name 9 Wall7 pof Attic14 n Grade16 Wall50 of Attic57 = - Existing CT SUMMA 1. luct Type	Y SUMMARY	devices? (if "Yes", see Surfac Exteri Rr Undergro Exteri Rr 2. Product Density (lb/ft ²)	e NRCC-PRF-ENV-D 2. ce Type iorWall oof oundFloor iorWall oof 3. Aged Solar Reflectance	Area Area 10 12 20 7: 7: 4. Therm Emitta	nore inf (ft ²) 91 98 16 11 18 nal nce	4. Framing Type Wood Wood Wood Wood SF	5 Cav R-V2 1 3 ((((((ity C ilue 7	6. ontinuous R-Value NA NA NA NA A NA ODI Roof Credit	§ 120.7/ § U-Factor / U-Facto U-Facto U-Facto U-Facto U-Facto U-Facto C-Facto U-Facto D-Facto D-Facto D-Facto	§ 140.3 / F-Facture actor r: 0.072 r: 0.730 r: 0.730 r: 0.730 r: 0.293 r: 0.293 r: 0.293 fing Processoription	3 3 2 r 3 r 4 7 7 7 8 140. 9 140. 14	C	No Confirr Pass Confirr Pass Confirr Pass Confirr Pass	

0.08 0.75

NA

No

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583

гипыпд
Indoor Lighting
Outdoor Lighting
Sign Lighting
Floctrical

Project Name:	
Project Address:	
Compliance Scope	e:
M. HVAC SYSTE	M SUN
1.	
Equip Name	E
HVAC System	SZHP
Dry System Equipment Simple Systems must of Complex Systems must A summary of which a Status: N - New, A – Al	includes complete t complet cceptance tered, E -
12.	
Equip Na	me

(A .
¹ Wet System Equipment include
² Status: N - New, A – Altered, E

Discrepancy betv	Discrepancy between modeled and designed equipment sizing? (if "Yes", see Table F. "Additional Remarks" for an explanation) No													
N. ECONOMIZE	I. ECONOMIZER & FAN SYSTEMS SUMMARY ¹												Confi	rmed
1.	1. 2. 3. 4.											5.		
	Outside Air			Sup	oly Fan				Retu	urn Fan		Francomizar Turna	Pa	E.
Equip Name	CFM	CFM	НР	внр	TSP (inch WC)	Control	CFM	НР	внр	TSP (inch WC)	Control	(if present)	SS	=
HVAC System	287	1250	0.500	0.500	1.27	ConstantVolume	NA	NA	NA	NA	NA	NoEconomizer		
CA Building Energy	y Efficiency	Standards	- 2016 Non	residential	Compliand	ce Report Ver	rsion: NRCO	C-PRF-01-E-	06262019	-5583	Report Ge	enerated at: 2019-10-2	5 10:03	:34

5.813

R-0 Roof Attic57

Report Generated at: 2019-10-25 10:03:34

NA

Report Generated at: 2019-10-25 10:03:34

Report Generated at: 2019-10-25 10:03:34

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance	Report Version: NRCC-PRF-01-E-06262019-5583	Report Generated at: 2019-10-25 10:03:34

Nonresidentia	l Building				١	NRCC-PR	F-01-E	Page 9 of 19							
384 Miles Ave	nue Yuba City 9599	93			0	Calculati	on Date/Time:	10:03, Fri, O	ct 25, 2019						
NewComplete Input File Name: Regional Housing Authority.cibd16x															
1MARY (see N	RCC-PRF-MCH-D	ETAILS	6 for more info	rmation)						§ 110.1 / § 110.	2				
	Dry System Equipment ¹ (Fan & Economizer info included below in Table N) Confirmed														
2.	3.	4.	5.	6.	7	7.	8.	9	•	10.	11.				
quip Type	System Type (Simple ² or	Qty	Total Heating Output	Supp Heat Source (Y/N)	Supp Out	o Heat tput	Total Cooling Output	Effici	ency	Acceptance Testing Required? (Y/N)	Status	Pass	Fail		
	Complex ')		(kBtu/h)		(KB1	ituh)	(KBtu/h)	Cooling	Heating	4	5				
(Split <mark>3</mark> Phase)	Simple	1	62	No	(0	38	SEER-14.00 / EER-11.00	HSPF-8.50	Yes	N				

des furnaces, air handling units, heat pumps, etc. ete NRCC-CXR-03-E commissioning design review form lete NRCC-CXR-04-E commissioning design review form

nce tests are applicable is provided in NRCC-PRF-MCH-DETAILS E – Existing

		Wet	System Eq	uipment ¹					Pur	nps			Confi	rmed
12.	13.	14.	15.	16.	17.	18.	19.	20.	21.	22.	23.	24.		
Equip Name	Equip Type	Qty	Vol (gal)	Rated Capacity (kBtu/h)	Efficiency	Standby Loss	Tank Ext. R Value	Qty	GPM	HP	VSD (Y/N)	Status ²	Pass	Fail
50 Gallon Electric2	Storage	1	50.00	15	EF: 0.93	SBLF: NA	NA		NA		No	Ν		

des boilers, chillers, cooling towers, water heaters, etc. E – Existing

Project Name:	Nonresidential Bu	uilding	-20 (Manual			NRC	C-PRF-01-	E	Page 10 o	f 19				
Project Address:	384 Miles Avenue	e Yuba Ci	ity 95993			Calc	ulation Da	ite/Time:	10:03, Fri	, Oct 25, 20	019	h 44.0		
Compliance Scope:	NewComplete					Inpu	ut File Nam	ne:	Regional	Housing Au	uthority.cil	bd16x		
Mechanical ventilation calc	ulations and exhaust fans ar	e included	in the NRCC-P	PRF-MCH-DE	TAILS section									
O. EQUIPMENT COI	NTROLS											§ 120.	2 Co	onfirm
	1.				2.				ŝ	3.			Pas	
E	quip Name				Equip Type				Cor	itrols			× ×	_
н	VAC System				SZHP			No	No DCV No Eco Supply Air No Optir No Evapor	Controls nomizer Temp. Con num Start ative Coole	ntrol er			
D	HW1 - SHW			Servic	e Hot Water, Primary	Only		Fixed To	No Heat	Recovery re Control,	No DDC			
P. SYSTEM DISTRIBI									No Heat	20.4/ § 1	140 4(1)			
							Dry Syste	em Distribut	tion					Confirn
1.		2.			3.	4.			5.			6.		
Equip Name	E	Equip Ty	pe	S	Duct Leakage and ealing Required per 140.4(I)	Duct Leakage verified per Na NA2	will be A1 and	Insulatio R-Value	Ducts	Location	n	Status ¹		Pass
HVAC System		SZHP			No	No		8.0	l	Inconditio	ned	Ν		
Status: N - New, E – Existing Does the Project Inclu	ude Zonal Systems? (if	f "Yes", s	see NRCC-P	PRF-MCH	DETAILS for system in	formation)								
Does the Project Inclu	ude a Solar Hot Water	System	? (if "Yes",	see NRCC	C-PRF-MCH-DETAILS f	or system inform	nation)							
Vultifamily or Hotel/	Motel Occupancy? (if	f "Yes", s	see NRCC-P	PRF-MCH	-DETAILS for DHW sys	tem informatio	n)							1
CA Building Energy Effi	ciency Standards- 201	6 Nonre	sidential Co	ompliance	e Report V	ersion: NRCC-PR	F-01-E-062	262019-5583	3	R	eport Gen	erated at: 2	2019-10-2	5 10:03
Project Name:	Nonresidential Bu	uilding				NRC	C-PRF-01-	E	Page 13 o	f 19				
Project Address:	384 Miles Avenue	e Yuba Ci	ity 95993			Calc	ulation Da	ite/Time:	10:03, Fri	, Oct 25, 2	019			
Compliance Scope:	NewComplete					Inpu	ut File Nam	ne:	Regional	Housing Au	uthority.cil	bd16x		
DOCUMENTATION	AUTHOR'S DECLARA	TION S	TATEMEN	т						§ 10	0-103			
l certify that this Certi	ficate of Compliance c	documer	ntation is ac	ccurate ai	nd complete.									
Documentation Autho	or Name: Mario Bertac	co				Signature		W	ania	Bonto	ACCA			
Company: NRG Comp	liance, LP –							,,,,		v enn	nn			
City/State/Zip: Santa I	7 Rosa CA 95402					L L L C D O T L L C D O	A second					40/05	10040	
Phone: 707-237-6957						CEA Identific	te:	oplicable):				10/25	/2019	
						CEA Identific	ite: ation (If ap	oplicable):				10/25	/2019	
RESPONSIBLE PERS	ON'S DECLARATION	STATE	MENT			CEA Identific	ite: ation (If ap	oplicable):				10/25	/2019	
RESPONSIBLE PERS	ON'S DECLARATION	I STATEN ury, unde	MENT er the laws	of the Sta	ate of California:	CEA Identific	ite: ation (If ap	oplicable):				10/25	/2019	
I certify the following 1 I hereby affilicensed in t	ON'S DECLARATION under penalty of perju irm that I am eligible u the State of California :	I STATEN ury, unde inder the as a civil	MENT er the laws e provisions	of the Sta s of Divisi	ate of California: ion 3 of the Business a :al engineer, electrical	CEA Identific	ite: ation (If ap Code to sig a license	pplicable): gn this docur d architect.	ment as th	e person r	responsible	10/25 e for its pre	/2019 paration;	and th
I certify the following 1 I hereby affilicensed in t 2 I affirm that	ON'S DECLARATION under penalty of perju irm that I am eligible u the State of California : I am eligible under th ; and that I am a licent	I STATEN	MENT er the laws e provisions l engineer, r ions of Divi	of the Sta s of Divisi mechanic ision 3 of	ate of California: ion 3 of the Business a :al engineer, electrical the Business and Proj nis work	CEA Identific	ite: ation (If ap Code to sig m a license section 5!	oplicable): gn this docu d architect. 537.2 or 673	ment as th 7.3 to sigr	e person r n this docu	responsible iment as tl	10/25 e for its pre	/2019 paration; esponsibl	and the
I certify the following 1 I hereby affilicensed in t 2 I affirm that preparation 3 I affirm that	ON'S DECLARATION under penalty of perju irm that I am eligible u the State of California : I am eligible under th ; and that I am a licens I am eligible under Di	STATEN Ury, under Inder the as a civil e provisi sed cont ivision 3	MENT er the laws e provisions l engineer, r ions of Divi tractor perfi of the Busi	of the Sta s of Divisi mechanic ision 3 of forming th iness and	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Pro nis work. Professions Code to s	CEA Identific	ite: ation (If ag Code to sig m a license section 5! nt because	oplicable): gn this docur d architect. 537.2 or 673 e it pertains	ment as th 7.3 to sign to a struct	e person r n this docu cure or typ	responsible iment as the	10/25 e for its pre he person r described a	/2019 paration; esponsibl	and the e for its
I certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that Business an	ON'S DECLARATION under penalty of perju irm that I am eligible u the State of California I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Sec	STATEN Ury, under Inder the as a civil be provisi sed cont ivision 3 ctions 55	MENT er the laws e provisions l engineer, r ions of Divi tractor perfo of the Busi 537, 5538 a	of the St. s of Divisi mechanic ision 3 of orming th iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Proi nis work. Professions Code to s 1.	CEA Identific	ite: ation (If ap Code to sig m a license section 55 nt because	oplicable): gn this docur d architect. 537.2 or 673 e it pertains	ment as th .7.3 to sign to a struct	e person r n this docu cure or typ	responsible iment as th re of work	10/25 e for its pre he person r described a	/2019 paration; esponsibl as exempt	and the e for its
RESPONSIBLE PERS certify the following 1 I hereby affi 1 I censed in t 2 I affirm that 3 I affirm that Responsible Envelope Company	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California i I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Ser Designer Name: Eric I gineering Inc	STATEN ury, under the as a civil sed cont ivision 3 ctions 55 D Ausmu	MENT er the laws e provisions l engineer, r ions of Divi tractor perfo of the Busi 537, 5538 a	of the Sta s of Divisi mechanic ision 3 of orming the iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Prot nis work. Professions Code to s 1.	CEA Identific CEA Identific and Professions (engineer, or I ar essions Code by ign this docume Signature:	ite: ation (If ap Code to sig m a license section 55 nt because	oplicable): gn this docur ed architect. 537.2 or 673 e it pertains	ment as th 7.3 to sign to a struct	e person r n this docu cure or typ	responsible ument as th be of work	10/25 e for its pre he person r described a	/2019 paration; esponsibl	and the e for its
RESPONSIBLE PERS certify the following 1 I hereby affi 1 Icensed in t 2 I affirm that 3 I affirm that Responsible Envelope Company: Ausmus Envelope	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California : I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Sec Designer Name: Eric I gineering Inc ice Avenue	STATEN ury, unde nder the as a civil be provisi sed cont ivision 3 ctions 55 D Ausmu	MENT er the laws e provisions l engineer, r ions of Divi tractor perfo of the Busi 537, 5538 a us	of the Sta s of Divisi mechanic ision 3 of orming th ness and and 6737.	ate of California: ion 3 of the Business a :al engineer, electrical the Business and Proi nis work. Professions Code to s 1.	CEA Identific CEA Identific and Professions (engineer, or I ar ressions Code by ign this docume Signature: Date Signed:	ite: ation (If ap Code to sig m a license section 5! nt because	oplicable): gn this docur ed architect. 537.2 or 673 e it pertains	ment as th 7.3 to sign to a struct	e person r n this docu cure or typ	responsible iment as tl ee of work	10/25 e for its pre he person r described a	/2019 paration; esponsibl	and the
RESPONSIBLE PERS certify the following 1 I hereby affilicensed in t 2 I affirm that preparation 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan Chick State/Zip: Chico G	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California i I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Sec Designer Name: Eric I gineering Inc ice Avenue CA 95973	I STATEN ury, under the as a civil e provisi sed cont ivision 3 ctions 55 D Ausmu	MENT er the laws e provisions l engineer, r ions of Divi tractor perfo of the Busi 537, 5538 a us	of the Sta s of Divisi mechanic ision 3 of forming th iness and and 6737.	ate of California: ion 3 of the Business a al engineer, electrical the Business and Proi nis work. Professions Code to s 1.	CEA Identific CEA Identific engineer, or I ar ressions Code by ign this docume Signature: Date Signed: Declaration S	te: ation (If ap Code to sig m a license section 55 nt because	oplicable): gn this docun d architect. 537.2 or 673 e it pertains	ment as th 7.3 to sign to a struct	e person r n this docu ture or tγp	responsible iment as th re of work	10/25 e for its pre he person r described a	/2019 paration; esponsibl as exempt	and the e for its pursua
RESPONSIBLE PERS certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Chick State	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California i I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code See Designer Name: Eric I gineering Inc ice Avenue CA 95973	I STATER ary, under the as a civil e provisi sed cont ivision 3 ctions 55 D Ausmu	MENT er the laws e provisions l engineer, r ions of Divi tractor perfr of the Busi 537, 5538 a us	of the Sta s of Divisi mechanic ision 3 of forming the iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Prot nis work. Professions Code to s 1.	CEA Identific CEA Identific and Professions (engineer, or I ar ressions Code by ign this docume Signature: Date Signed: Declaration S Title:	ite: ation (If ap Code to sig m a license section 55 nt because Statement	oplicable): gn this docu ed architect. 537.2 or 673 e it pertains Type:	ment as th 7.3 to sign to a struct	e person r n this docu cure or typ Licer	responsible ument as the of work	10/25 e for its pre he person r described a	/2019 paration; esponsibl as exempt	and the e for its
RESPONSIBLE PERS I certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting ID Company: Ausmus En	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California : I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Sec Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D	I STATEN ury, unde nder the as a civil sed cont ivision 3 ctions 55 D Ausmu	MENT er the laws e provisions l engineer, r ions of Divi tractor perfo of the Busi 537, 5538 a 15	of the Sta s of Divisi mechanic ision 3 of orming th iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Prot nis work. Professions Code to s 1.	CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific Signature: Date Signet Declaration S Title: Signature:	ite: ation (If ap Code to sig m a license section 55 nt because	pplicable): gn this docu d architect. 537.2 or 673 e it pertains Type:	ment as th 7.3 to sign to a struct	e person r n this docu cure or typ	responsible ument as the se of work	10/25 e for its pre he person r described a	/2019 paration; esponsibl	and the
RESPONSIBLE PERS I certify the following 1 I hereby affi 1 I diffirm that 2 I affirm that 3 I affirm that 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan Company: Ausmus En	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California : I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Sec Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue	I STATEN ury, unde nder the as a civil e provisi sed cont ivision 3 ctions 55 D Ausmu	MENT er the laws e provisions l engineer, r iions of Divi tractor perfo of the Busi 537, 5538 a us	of the Sta s of Divisi mechanic ision 3 of orming th iness and and 6737.	ate of California: ion 3 of the Business a al engineer, electrical the Business and Proi nis work. Professions Code to s 1.	CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific Signature: Date Signet CEA Identific Declaration S Title: Signature: Date Signet	te: ation (If ap Code to sig m a license section 5! nt because	gn this docur d architect. 537.2 or 673 e it pertains	ment as th 7.3 to sign to a struct	e person r n this docu cure or typ	responsible iment as the oe of work	10/25 e for its pre he person r described a	/2019 paration; esponsibl as exempt	and the for its
RESPONSIBLE PERS I certify the following 1 I hereby affi 1 I censed in t 2 I affirm that preparation 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California i I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Sec Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973	I STATER ury, under the as a civil e provisi sed cont ivision 3 ctions 55 D Ausmu	MENT e r the laws e provisions l engineer, r ions of Divi tractor perfi of the Busi 537, 5538 a JS	of the Sta s of Divisi mechanic ision 3 of forming the iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Prot nis work. Professions Code to s 1.	CEA Identific CEA Identific engineer, or I ar essions Code by ign this docume Signature: Date Signed: Declaration S Title: Signature: Date Signed: Date Signed: Date Signed:	ite: ation (If ap Code to sig m a license section 55 nt because Statement	Type:	ment as th 7.3 to sign to a struct	this docu	responsible ument as th re of work nse #:	10/25 e for its pre he person r described a	/2019 paration; esponsibl as exempt	and the e for its
RESPONSIBLE PERS I certify the following 1 I hereby affi 2 I affirm that 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California i I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Ser Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973	STATER ury, under the as a civil sed cont ivision 3 ctions 55 D Ausmu	MENT er the laws e provisions l engineer, r ions of Divi tractor perfr of the Busi 537, 5538 a us	of the Sta s of Divisi mechanic ision 3 of forming the iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Prot nis work. Professions Code to s 1.	CEA Identific CEA Identific engineer, or I ar essions Code by ign this docume Date Signed: Declaration S Title: Date Signed: Date Signed: Date Signed: Date Signed: Title:	ite: ation (If ap Code to sig m a license section 55 nt because Statement	pplicable): gn this docur ed architect. 537.2 or 673 e it pertains Type: Type:	ment as th 7.3 to sign to a struct	e person r n this docu cure or typ Licer	responsible ument as the of work nse #:	10/25 e for its pre he person r described a	/2019 paration; esponsibl as exempt	and the for its
RESPONSIBLE PERS I certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico C Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico C Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico C Phone: 530-521-2648 Responsible Mechanic	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California : I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Sec Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973	I STATEN ury, unde nder the as a civil sed cont ivision 3 ctions 55 D Ausmu Ausmus	MENT er the laws e provisions l engineer, r iions of Divi tractor perfo of the Busi 537, 5538 a us	of the Sta s of Divisi mechanic ision 3 of orming th iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Proi nis work. Professions Code to s 1.	CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific Signature: Date Signet Declaration S Title: Declaration S Declaration S Title: CEA Identific Signature: CEA Identific Si	ite: ation (If application (If application (If application (If application (If application (If application (If application))))))))))))))))))))))))))))))))))))	pplicable): gn this docu d architect. 537.2 or 673 e it pertains Type: Type:	ment as th 7.3 to sign to a struct	e person r n this docu cure or typ	responsible iment as the oe of work nse #:	10/25 e for its pre he person r described a	/2019 paration; esponsibl as exempt	and the for its
RESPONSIBLE PERS 1 certify the following 1 I hereby affilicensed in t 2 I affirm that preparation 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California : I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Sec Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice Avenue	Ausmus	MENT er the laws e provisions l engineer, r iions of Divi tractor perfi of the Busi 537, 5538 a us	of the Sta s of Divisi mechanic ision 3 of forming th iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Proi nis work. Professions Code to s 1.	CEA Identific CEA Identific CEA Identific CEA Identific Cengineer, or I ar ressions Code by ign this docume Signature: Date Signed: Declaration S Title: Date Signed: Declaration S Title: Signature: Date Signed: Declaration S	ite: ation (If application (If application (If application (If application (If application (If application))))))))))))))))))))))))))))))))))))	Type:	ment as th	e person r n this docu sure or typ	responsible iment as th re of work nse #:	10/25 e for its pre he person r described a	/2019 paration; esponsibl as exempt	and the e for its
RESPONSIBLE PERS 1 certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California i i am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Ser Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice Avenue CA 95973	STATER ury, under the as a civil sed cont ivision 3 ctions 55 D Ausmu Ausmus	MENT er the laws e provisions l engineer, r ions of Divi tractor perfr of the Busi 537, 5538 a us	of the Sta s of Divisi mechanic ision 3 of orming the iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Prot nis work. Professions Code to s 1.	CEA Identific CEA Identific CEA Identific CEA Identific Censions Code by ign this docume Signature: Date Signed: Declaration S Title: Date Signed: Declaration S Title: Date Signed: Declaration S Title:	Ite: ation (If application (If	Type: Type:	ment as th	this docu this docu ture or typ	responsible ument as the of work nse #:	10/25 e for its pre he person r described a	/2019 paration; esponsibl	and the
RESPONSIBLE PERS I certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California a i am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Sea Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice Avenue CA 95973	I STATEN ury, unde inder the as a civil ie provisi sed cont ivision 3 ctions 55 D Ausmu Ausmus	MENT er the laws e provisions l engineer, r ions of Divi tractor perfr of the Busi 537, 5538 a us	of the Sta s of Divisi mechanic ision 3 of orming the iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Prot nis work. Professions Code to s 1.	CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific Signature: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: Title:	ite: ation (If application (If application (If application (If application (If application (If application))))))))))))))))))))))))))))))))))))	Type: Type:	ment as th	e person r n this docu ture or typ Licer	responsible iment as the ope of work nse #:	10/25 e for its pre he person r described a	/2019 paration; esponsibl as exempt	and the
RESPONSIBLE PERS 1 certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 CA Building Energy Effi Chance C Project Name: Project Address:	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California a i am eligible under th ; and that I am a licens i am eligible under Di d Professions Code Sea Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice Avenue CA 95973	STATER ary, under inder the as a civil ie provisis sed cont ivision 3 ctions 55 D Ausmu Ausmus ic D Ausm ic D Ausr 6 Nonre ailding	MENT er the laws e provisions l engineer, r ions of Divi tractor perfr of the Busi 537, 5538 a us s mus s s s s s s s s s s s s s s s	of the Sta s of Divisi mechanic ision 3 of orming the iness and and 6737.	ate of California: ion 3 of the Business a al engineer, electrical the Business and Proi nis work. Professions Code to s 1.	CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific Signature: Date Signed: Declaration S Title: CEA Identific Signature: Date Signed: Declaration S Title: CEA Identific Signature: Date Signed: Declaration S Title: CEA Identific Signature: Date Signed: Declaration S Title: CEA Identific Signature: CEA Identific Signature: Signature: CEA Identific Signature: Signa	tte: ation (If application (If application (If application application)) Code to sigma a license resection 55 nt because Statement Statement Statement F-01-E-062	pplicable): gn this docur ed architect. 537.2 or 673 e it pertains Type: Type: Type: 262019-5582 E tte/Time:	ment as th 7.3 to sign to a struct	Licer	responsible iment as the ore of work nse #: nse #: nse #: eport Gen	10/25 e for its pre he person r described a erated at: 2	/2019 paration; esponsibl as exempt	and the for its pursua 5 10:03
RESPONSIBLE PERS I certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Company: Ausmus En Address: Company: Charge Effi City/State/Zip: Chico O Company: Audress: Company: Audress: Company: Charge Effi Company: Charge Effi C	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California a i am eligible under th ; and that I am a licens i am eligible under Di d Professions Code See Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 Cal Designer Name: Eri gineering Inc ice Avenue CA 95973	STATER ary, unde inder the as a civil e provisi sed cont ivision 3 ctions 55 D Ausmu Ausmus ic D Ausm ic D Ausm 6 Nonre ailding e Yuba Ci	MENT er the laws e provisions l engineer, r ions of Divi tractor perfe of the Busi 537, 5538 a us s mus s esidential Co isidential Co	of the Sta s of Divisi mechanic ision 3 of forming the iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Prot is work. Professions Code to s 1.	CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific Signature: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: CECIATION S Title: CECIATION S CECIATION S	Ite: Tation (If application of the section of the	pplicable): gn this docun d architect. 537.2 or 673 e it pertains Type: Type: Type: 62019-5583 E te/Time: ne:	ment as th 7.3 to sign to a struct	this docu this docu ture or typ Licer Licer Licer Ra f 19 , Oct 25, 20 Housing A	responsible iment as the re of work nse #: nse #: nse #: eport Gen 019 uthority.cil	10/25 e for its pre he person r described a erated at: 2 erated at: 2	/2019 paration; esponsibl as exempt	and the for its pursua a state of the formation of the fo
RESPONSIBLE PERS I certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 A Building Energy Effi Phone: 530-521-2648 A Building Energy Effi Project Name: Project Address: Compliance Scope: 3. ZONAL SYSTEM 4	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California : I am eligible under th ; and that I am a licens I am eligible under Di d Professions Code Ser Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice Avenue CA 95973 cal consigner Name: Eri gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice Avenue CA 95973	STATEP ury, under inder the as a civil ie provisi sed cont ivision 3 ctions 55 D Ausmu Ausmus ic D Ausmu ic D Ausr 6 Nonre ailding e Yuba Ci T SUMI	MENT er the laws e provisions l engineer, r ions of Divi tractor perfr of the Busi 537, 5538 a us s mus s s s s s s s s s s s s s s s	of the Sta s of Divisis mechanic ision 3 of forming the iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Prot is work. Professions Code to s 1.	Signature Date CEA Identific CEA Identific Identific ign this docume Signature: Date Signed: Declaration S Title: Signature: Date Signed: Date Signed: Title: Signature: Date Signed: Date Signed: Date Signed: Title: Signature: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: Dat	tte: ation (If application (If application (If application)) Code to sign a license section 5! nt because Statement Statement Statement F-01-E-062 CC-PRF-01- culation Da ut File Nam	pplicable): gn this docum ed architect. 537.2 or 673 e it pertains Type: Type: Type: 262019-5583 E tte/Time: he:	ment as th 7.3 to sign to a struct a struct page 16 o 10:03, Fri Regional I	e person r n this docu ure or typ Licer Licer Licer Ra f 19 , Oct 25, 21 Housing Au	responsible iment as the ore of work nse #: nse #: nse #: eport Gen 019 uthority.cil	10/25 e for its pre he person r described a erated at: 2 bd16x	/2019 paration; esponsibl as exempt	and the e for its pursua a for its to be a for
RESPONSIBLE PERS certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 A Building Energy Effi Phone: 530-521-2648 3. ZONAL SYS	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California a i am eligible under th ; and that I am a licens i am eligible under Di d Professions Code Sea Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice	STATER ury, unde inder the as a civil ie provisis sed cont ivision 3 ctions 55 D Ausmu Ausmus ic D Ausmu Ausmus 6 Nonre uilding e Yuba Ci T SUMI 3.	MENT er the laws e provisions l engineer, r iions of Divi tractor perfo of the Busi 537, 5538 a us mus s s s s s s s s s s s s s s s s	of the St s of Divisi mechanic ision 3 of forming th iness and and 6737.	ate of California: ion 3 of the Business a al engineer, electrical the Business and Proi nis work. Professions Code to s 1.	CEA Identific CEA Identific Signature: Date Signed: Declaration S Title: CEA Identific Signature: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: CEA Identific Signature: CEA Identific Signature: Signature: CEA Identific Signature: Sign	tte: ation (If application (If	pplicable): gn this docur d architect. 537.2 or 673 e it pertains Type: Type: Type: Compared to the second	ment as th 7.3 to sign to a struct b a struct c a struc	ticer Licer Licer Licer Ri Cure or typ	responsible iment as the responsible iment as the response of work inse #: nse #: nse #: eport Gen 019 uthority.cil	10/25 e for its pre he person r described a erated at: 2 bd16x 8.	/2019 paration; esponsibl as exempt 2019-10-2	and the e for its pursua 5 10:03
RESPONSIBLE PERS certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico (C) Phone: Phone: 530-521-2648 Responsible Lighting (D) Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico (C) Phone: Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico (C) Phone: Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico (C) Phone: Phone: 530-521-2648 A Building Energy Effi Phone: Project Name: Project Address: Compliance Scope: Sompliance Scope: J. 1.	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California a i am eligible under th ; and that I am a licens i am eligible under Di d Professions Code See Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 Cal Designer Name: Eri gineering Inc ice	Ausmus ic D Ausmu ic D Ausmu ic D Ausmu Ausmus is d cont is sed cont ivision 3 ctions 55 D Ausmu Ausmus is D Ausmu ic D Ausmu is D A	MENT er the laws e provisions l engineer, r isons of Divi tractor perfo of the Busi 537, 5538 a us s mus s s s s s s s s s s s s s s s	of the Sta s of Divisi mechanic ision 3 of forming the iness and and 6737.	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Profinis work. Professions Code to s 1.	CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific CEA Identific Signature: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: Date Signed: CEA Identific Date Signed: Date Signed: CEA Identific CEA Identific Signature: Date Signed: Date Signed: CEA Identific Date Signed: CEA Identific CEA Identific Signature: CEA Identific Signature: Signature: CEA Identific Signature: Signature: CEA Identific Signature: Signa	tte: ation (If application (If	pplicable): gn this docur d architect. 537.2 or 673 e it pertains Type: Type: Type: Comparison E te/Time: he: Ai	ment as th 7.3 to sign to a struct 9 Page 16 o 10:03, Fri Regional 1 7.	ticer Licer Licer Licer Ra f 19 , Oct 25, 20 Housing Au	responsible iment as the re of work nse #: nse #: nse #: eport Gen 019 uthority.cil	10/25 e for its pre he person r described a erated at: 2 bd16x 8. Fan	/2019 paration; esponsibl as exempt	and the e for its pursua 5 10:03
RESPONSIBLE PERS certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan Address: 3311 Penzan Company: Ausmus En Address: 330-521-2648 A Building Energy Effi 'roject Name: 'roject Address: Compliance Scope: . 3. ZONAL SYSTEM A 1.	ON'S DECLARATION under penalty of perju im that I am eligible u che State of California a i am eligible under th ; and that I am a licens i am eligible under Di d Professions Code See Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 Cal Designer Name: Eri gineering Inc ice Avenue CA 95973 cal Designer Name: Eri gineering Inc ice	Ausmus ic D Ausmu a viliding ic D Ausmu Ausmus	MENT er the laws e provisions l engineer, r ions of Divi tractor perfo of the Busi 537, 5538 a us mus s s mus esidential Co ity 95993 ity 95993 MARY 4. Rated Ca (kBtu Heating	of the St s of Divisi mechanic ision 3 of forming th iness and and 6737.	ate of California: ion 3 of the Business a al engineer, electrical the Business and Proi nis work. Professions Code to s 1. e Report Vo e Report Vo 5. Economizer	Signature Date CEA Identific CEA Identific Identific ind Professions Code by ign this docume Date Signed: Input Calc Input Gate Calc Calc Input Gate Calc Calc Calc Calc Calc Calc Calc Calc Calc	tte: ation (If application (I	pplicable): gn this docur d architect. 537.2 or 673 e it pertains Type: Type: Type: 262019-5583 E tte/Time: 19 262019-5583 E	ment as th 7.3 to sign to a struct a struct page 16 o 10:03, Fri Regional 7. rflow (cfn Min.	ticer Licer Licer Licer Ri Cure or typ	responsible iment as the responsible iment as the response #: nse #: nse #: eport Gen 019 uthority.cil	10/25 e for its pre he person r described a erated at: 2 bd16x 8. Fan Cycles	/2019 paration; esponsibl as exempt 2019-10-2 2019-10-2	and the e for its pursua 5 10:03
RESPONSIBLE PERS certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Conone: 530-521-2648 A Building Energy Effi Company: Ausmus En Project Name: Project Address: Compliance Scope: System ID J. System ID 4-Support-Trm A	ON'S DECLARATION under penalty of perju im that I am eligible u the State of California : i am eligible under th ; and that I am a licens i am eligible under Di d Professions Code Sec Designer Name: Eric D gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 Cal Designer Name: Eri gineering Inc ice Avenue CA 95973 Cal Designer Name: Eri Sub Cal Designer Name: Eri gineering Inc ice Avenue CA 95973 Cal Designer Name: Eri Sub Cal Designer Name: Eri Sub Cal Designer Name: Eri Cal Designer Name: Eri Sub Cal Designer Name: Eri Cal Designer Name: Er	Ausmus ic D Ausmu Ausmus ic D Ausmu Ausmus ic Q Ausmu Ausmus ic 1 Ausmu Ausmus A	MENT er the laws e provisions l engineer, r isons of Divi tractor perfo of the Busi 537, 5538 a us s mus s s mus esidential Co ity 95993 ity 95993 mARY 4. Rated Ca (kBtu Heating	of the Sta s of Divisi mechanic ision 3 of forming th iness and and 6737.	ate of California: ion 3 of the Business a al engineer, electrical the Business and Profinis work. Professions Code to s 1. e Report V e Report V 5.	Signature Date CEA Identific CEA Identific and Professions Code by ign this docume Date Signed: Date Signed: <	Ite: ation (If application of the section of the s	pplicable): gn this docur d architect. 537.2 or 673 e it pertains Type: Type: Type: Comparison E tector Comparison	ment as the struct of a struct	this docu a this docu b this b this	responsible iment as the re of work nse #: nse #: eport Gen 019 uthority.cil	10/25 e for its pre he person r described a erated at: 2 bd16x 8. Fan Cycles NA	/2019 paration; esponsibl as exempt 2019-10-2 2019-10-2	and the e for its pursua 5 10:03
RESPONSIBLE PERS certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that Business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico (C) Chone: Propary: Ausmus En Address: Address: 3311 Penzan Company: Ausmus En Company: Ausmus En Address: 3311 Penzan Company: Ausmus En Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico (C) Chone: Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico (C) C Phone: 530-521-2648 A Building Energy Effi Company: Ausmus En Address: Compliance Scope: 3. ZONAL SYSTEM / 1. System ID 1. 4-Support-Trm 3-Kitchenette-Trm	ON'S DECLARATION under penalty of perju im that I am eligible u iche State of California a i am eligible under th ; and that I am a licens I am eligible under Di d Professions Code See Designer Name: Eric I gineering Inc ice Avenue CA 95973 cal Designer Name: Eric D gineering Inc ice Avenue CA 95973 cal Designer Name: Eric gineerin	STATER ary, unde inder the as a civil re provisis sed cont ivision 3 ctions 55 D Ausmu Ausmus ic D Ausmu Ausmus 6 Nonre iidding e Yuba Ci 3. Qty 1 1 1	MENT er the laws e provisions l engineer, r ions of Divi tractor perfo of the Busi 537, 5538 a us s mus s s s s s s s s s s s s s s s	of the Sta s of Divisi mechanic ision 3 of forming the iness and and 6737. ompliance ompliance apacity uh) Cooling NA NA	ate of California: ion 3 of the Business a cal engineer, electrical the Business and Pro- nis work. Professions Code to s 1. e Report Va e Report Va 5. Economizer	Signature Date CEA Identific CEA Identific Ind Professions Code by ign this docume Date Signed: Declaration S Date Signed: Declaration S Title: Calc Input Calc Calc <td>ite: ation (If application (If</td> <td>pplicable): gn this docur d architect. 537.2 or 673 e it pertains Type: Type: Comparison Type: Comparison Type: Comparison Com</td> <td>ment as the struct of a struct</td> <td>ticer Licer Licer Licer Rue f 19 , Oct 25, 20 Housing At Housing At n) Min. Ratio 0.00 0.00</td> <td>responsible iment as the re of work nse #: nse #: nse #: eport Gen 019 uthority.cil</td> <td>10/25 e for its pre he person r described a erated at: 2 bd16x Bailor Ba</td> <td>/2019 paration; esponsibl as exempt control co</td> <td>and the e for its pursua 5 10:03</td>	ite: ation (If application (If	pplicable): gn this docur d architect. 537.2 or 673 e it pertains Type: Type: Comparison Type: Comparison Type: Comparison Com	ment as the struct of a struct	ticer Licer Licer Licer Rue f 19 , Oct 25, 20 Housing At Housing At n) Min. Ratio 0.00 0.00	responsible iment as the re of work nse #: nse #: nse #: eport Gen 019 uthority.cil	10/25 e for its pre he person r described a erated at: 2 bd16x Bailor Ba	/2019 paration; esponsibl as exempt control co	and the e for its pursua 5 10:03
RESPONSIBLE PERS I certify the following 1 I hereby affilicensed in the preparation 2 I affirm that preparation 3 I affirm that business an Responsible Envelope Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Lighting D Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Responsible Mechanic Company: Ausmus En Address: 3311 Penzan City/State/Zip: Chico O Phone: 530-521-2648 Compliance Scope: B. ZONAL SYSTEM / I. System ID 1. 4-Support-Trm 3-Kitchenette-Trm 2-Office-Trm 1-Becontion Tent	ON'S DECLARATION under penalty of perju im that I am eligible u che State of California a i am eligible under th ; and that I am a licens i am eligible under Di d Professions Code See Designer Name: Eric I gineering Inc ice Avenue CA 95973 Designer Name: Eric D gineering Inc ice Avenue CA 95973 Cal Designer Name: Eric gineering Inc ice Avenue CA 95973 cal Designer Name: Eric gineering Inc	STATER ary, under inder the as a civil is provision sed cont ivision 3 ctions 55 D Ausmu Ausmus ic D Ausmu for D Ausmu ausmus 6 Nonre ii ding c Yuba Ci 3. Qty 1 1 1 1 1	MENT er the laws e provisions l engineer, r ions of Divi tractor perfo of the Busi 537, 5538 a Js a mus a sidential Co ity 95993 esidential Co Kated Ca (kBtu Heating NA NA NA	of the Sta s of Divisis mechanic ision 3 of forming the iness and and 6737. ompliance ompliance apacity uh) Cooling NA NA	ate of California: ion 3 of the Business a al engineer, electrical the Business and Proi- nis work. Professions Code to s 1.	Signature Date CEA Identific CEA Identific Ind Professions Cole engineer, or I ar essions Code by ign this docume Date Signed: Intle: Signature: Date Signed: Calc Signature: Signature: Date Signed: Date Signed: Date Signed: Date Signed: Calc Signature: Signature: Signature: Calc Signature: Signature: Signature: Signature: Date Signed: Signature: Signature: Signature: Signature: Signature: Signature:	Ate: ation (If application (I	pplicable): an this docur d architect. 537.2 or 673 e it pertains Type: Type: Comparent of the second of the	rent as the rank of sign to a struct to a struct rent as the rank of sign rank of s	ticer Licer Licer f 19 Cot 25, 20 Housing Au r n) Min. Ratio 0.00 0.00 0.00	responsible iment as the responsible iment as the response of work inse #: nse #: eport Gen 019 uthority.ci 019 uthority.ci	to/25 e for its pre he person r described a erated at: 2 bd16x bd16x bd16x bd1 6x bd1	/2019 paration; esponsibl as exempt 2019-10-2 2019-10-2	and the e for its pursua 5 10:03

C. EXHAUST FAN SUMMARY This Section Does Not Apply

D. DHW EQUIPMI	ENT SUMMARY	(– (Adapted from NR	CC-PLB-	01)					§ 110.3	
1.	2.	3.	4.	5.	6.	7.	8.	9.	10.	11
DHW Name	Heater Element Type	Tank Type	Qty	Tank Vol (gal)	Rated Input (kBtu/h)	Efficiency	Tank Insulation R-value (Int/Ext)	Standby Loss Fraction	Heat Pump Type	Tank Lo or Aml Condi
50 Gallon Electric2	Electricity	Storage	1	50.00	15	EF: 0.93	NA	SBLF: NA	NA	NA

E. MULTI-FAMILY CENTRAL DHW SYSTEM DETAILS

This Section Does Not Apply

F. SOLAR HOT WATER HEATING SUMMARY (Adapted from NRCC-STH-01) This Section Does Not Apply

	Confi	rmed
	Pass	Fail
٦	Con	firmed
	Pass	Fail
		No
		No
		No

10-25 10:03:34

<u>____</u> tion; and that I am nsible for its mpt pursuant to

10-25 10:03:34

§ 140.4 Confirmed Pass | Confirmed _____ Dcation nbient dition Fail

Project Name: Nonresidential Building NRCC-PRF-01-E Page 11 of 19 Calculation Date/Time: 10:03, Fri, Oct 25, 2019 Project Address: 384 Miles Avenue Yuba City 95993 Compliance Scope: Input File Name: Regional Housing Authority.cibd16x NewComplete § 140.6 Q. INDOOR CONDITIONED LIGHTING GENERAL INFO (see NRCC-PRF-LTI-DETAILS for more info)³ Confirmed 1. 2. 3. 4. 5. Conditioned Floor Area² Installed Lighting Power Lighting Control Credits Occupancy Type ¹ Additional (Custom) Allowance (ft²) (Watts) (Watts) Area Category Footnotes Tailored Method (Watts) (Watts) Waiting Area 265 108 0 0 0 Office (250 square feet in 372 180 0 0 0 floor area or less) _____ Kitchenette or Residential 431 180 0 0 0 Corridors, Restrooms, Stairs, 230 60 0 0 0 and Support Areas 528 Building Totals: 1,298 0 0 0 ¹ See Table 140.6-C ² See NRCC-LTI-01-E for unconditioned spaces ³Lighting information for existing spaces modeled is not included in the table R INDOOR CONDITIONED LIGHTING SCHEDULE (Adapted from NRCC-LTI-01-E)

R. INDOOR CONDITIO	NED LIGHTING SCHEDULE (Adapted	from NRCC-LTI-01-E) ¹					§ 13	0.0
Luminaire Schedule (incl conditioned space, and p offices)	udes all permanent installed lighting in ortable lighting over 0.3 w/ft ² in		Ir	istalled Watts (Con	ditioned)		Confi	rmed
	Complete Luminaire Description (i.e.,		How Wattage	is Determined	Total Number			
Name or Item Tag	3-lamp fluorescent troffer, F32T8, one dimmable electronic ballast)	Watts per luminaire	CEC Default from NA8	According to §130.0(c)	Luminaires	Installed Watts	Pass	Fail
А	Ceiling Mounted LED Light Fixture	18	No	Yes	28	504		
В	Fan Light	12	No	Yes	2	24		
¹ If lighting power densities were i	used in the compliance model Building Departments	will need to check prescriptive for	rms for Luminaire Sched	ule details.				
S1. COVERED PROCESS	SUMMARY – ENCLOSED PARKING	GARAGES				§ 140.9		
This Section Does Not Ap	ply							

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2019-10-25 10:03:34

oject Name:	Nonresidential Building	NRCC-PRF-01-E	Page 14 of 19		
oject Address:	384 Miles Avenue Yuba City 95993	Calculation Date/Time:	10:03, Fri, Oct 25, 2019		
mpliance Scope:	NewComplete	Input File Name:	Regional Housing Authority.cibd16x		
CC-PRF-ENV-D	ETAILS -SECTION START-			- 1	
OPAQUE SURFACE	ASSEMBLY DETAILS			Conf	firm
1.	2.	3.	4.	2	
Surface Name	Surface Type	Description of Assembly Layers	Notes	ss	
R-19 Wall7	ExteriorWall	Stucco - 7/8 in. Vapor permeable felt - 1/8 in. Wood framed wall, 16in. OC, 5.5in., R-19 Gypsum Board - 1/2 in.			
R-30 Roof Attic14	Roof	Asphalt shingles - 1/4 in. Vapor permeable felt - 1/8 in. Plywood - 1/2 in. Air - Cavity - Wall Roof Ceiling - 4 in. or more Wood framed rocf, 24in. OC, 3.5in., R-30 Gypsum Board - 1/2 in.			
Slab On Grade16	UndergroundFloor	Slab Type = UnheatedSlabOnGrade Insulation Orientation = None Insulation R-Value = R0			
R-0 Wall50	ExteriorWall	Stucco - 7/8 in. Vapor permeable felt - 1/8 in. Wood framed wall, 16in. OC, 3.5in., R-0 Gypsum Board - 1/2 in.			
R-0 Roof Attic57	Roof	Asphalt shingles - 1/4 in. Vapor permeable felt - 1/8 in. Plywcod - 1/2 in. Air - Cavity - Wall Roof Ceiling - 4 in. or more Wood framed roof, 24in. OC, 3.5in., R-0 Gypsum Board - 1/2 in.			

Report Version: NRCC-PRF-01-E-06262019-5583

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance

Report Generated at: 2019-10-25 10:03:34

Project Name: Nonre 384 M Project Address: Compliance Scope: NewCo C. TAILORED METHOD CONDIT Additional "use it or lose it" (See D. GENERAL LIGHTING POWER This Section Does Not Apply E. GENERAL LIGHTING FROM S Room Number NA Note: Tailored Method for Special Function A F. ROOM CAVITY RATIO (Adap Room Number NA Non-Rectangular Spaces This Section Does Not Apply Note: All applicable spaces are listed under th G. ADDITIONAL "USE IT OR LO 1. Wall Display 0 5. Wall Display This Section Does Not Apply CA Building Energy Efficiency Standa

Page 17 of 19 NRCC-PRF-01-E Nonresidential Building Project Name: Calculation Date/Time: 10:03, Fri, Oct 25, 2019 Project Address: 384 Miles Avenue Yuba City 95993 Compliance Scope: NewComplete Input File Name: Regional Housing Authority.cibd16x G. MECHANICAL HVAC ACCEPTANCE TESTS & FORMS (Adapted from 2016-NRCC-MCH-01-E) § RA4 Declaration of Required Acceptance Certificates (NRCA) – Acceptance Certificates that may be submitted. (Retain copies and verify forms are completed and signed to post in field for Field Inspector to verify). **Test Description** Confirmed 6 7 Equipment Requiring Pass Testing or Verification DHW1-SHW HVAC System H. EVAPORATIVE COOLER SUMMARY This Section Does Not Apply NRCC-PRF-LTI-DETAILS -SECTION START-A. INDOOR CONDITIONED LIGHTING CONTROL CREDITS (Adapted from NRCC-LTI-02-E) § 140.6 This Section Does Not Apply § 130.1 B. INDOOR CONDITIONED LIGHTING MANDATORY LIGHTING CONTROLS (Adapted from NRCC-LTI-02-E) This Section Does Not Apply $\$130.1(a) = Manual area controls; \$130.0(b) = Multi Level; \$130.1(c) = Auto Shut-Off; \$130.1(d) = Mandatory Daylight; \$130.1(\epsilon) = Demand Responsive$

Report Version: NRCC-PRF-01-E-06262019-5583

C. TAILORED METHOD CONDITIONED LIGHTING POWER ALLOWANCE SUMMARY AND CHECKLIST (Adapted from NRCC-LTI-04-E) General lighting power (see Table D) General lighting power from special function areas (see Table E)

§ 140.6 0

NA

Report Generated at: 2019-10-25 10:03:34

CONDITIONED ZONE NAME	ATING/COOLING SYSTEM ID
1-Reception	HVAC System
2-Office	HVAC System
3-Kitchenette	HVAC System
4-Support	HVAC System

Project Name: Project Address:	Nonres 384 Mi	sidential iles Aven	Building ue Yuba City	95993					NRCC-PRF-0 Calculation)1-E Date/Ti	ime:	Page 12 10:03, Fr	of 19 i, Oct 29	5, 2019	ity cibela	6×									MUS EERING
S2 COVERED BROCK		οmplete	COMMERCI		-NS				input File Na	ame:		кegional	Housin	3 Author	ny.cibd1	οX] 0									「」,
This Section Does No	t Apply		COMINERCI		ENS										9 140).9						<u>//_</u>			<u> </u>
S3. COVERED PROC	ESS SUMN	/ARY – (COMPUTER	ROOMS									§ 140.	9								40 33 0 P er	SMUS E SII PEN; CHICO, H: (530 icausmu	NGINE CA 95 0) 521- 5@gma	ERING E AVE 5973 -2648 ail.com
S4. COVERED PROC	ESS SUMN	/IARY –	LABORATO	RY EXHAU	STS									§ :	40.9										
This Section Does No	t Apply																								
T. UNMET LOAD HO	OURS	6	Cooling Unme	et Load Ho	ur Limit for	Brance	ad Co	aling Unmot		Heat	ting Unr	met Loac	Hour L	mit for	Bronos	od Ho	ating lin	motion	d Hours						
1-Recep	tion		The	ermal Zone		Propos	seu co	1800.5			т	hermal 2	one		Propos	eu ne	1369		unours						
2-Offic	e			150				1182				150					1731.	5							
U. ENERGY USE SU Ene	MMARY rgy Compoi	nent		Stand	ard Design (MWh)	Site	Prop	osed Design S (MWh)	Site M	1argin VIWh)	St	tandard I (Mi	Design S Btu)	ite	Propos	ed Des (MBtu	sign Site I)	M: (N	argin 1Btu)						
S	pace Heatin	ng						4.1				16	.8									ζ,	9	<u>c</u>	<u>C</u>
	Indoor Fans	5			4.6			2.8		1.8		-	-											í	5
P	umps & Mis	on sc.									+		-									ļ		- H	/
Don	nestic Hot W	Vater						1.1				9	4										5	-	<u>√</u>
CON	IPLIANCE TO	OTAL			10.0			11.9		-1.9		26	.2			0.0						1	n	Ī	
	Receptacle Process				3.3			3.3		0.0	-	3	-			3.1			0.0 			Į	E E	_	
P	Other Ltg	ors										-	-									ľ		(Č
	TOTAL				15.0			16.9		-1.9		29	.3			3.1		2	.2			ľ	Z		≻
CA Building Energy Eff	iciency Stan	dards- 20	016 Nonresid	ential Com	pliance	Re	eport \	ersion: NRCC	:-PRF-01-E-0	626201	19-5583			Report	Generat	ted at:	2019-10	-25 10:03	3:34				AINTE		
Project Name:	Nonres	sidential	Building						NRCC-PRF-0)1-E		Page 15	of 19							1				Í	
Project Address:	384 Mi	iles Aven	ue Yuba City	95993				1	Calculation	Date/Ti	ime:	10:03, Fi	i, Oct 25	5, 2019		100									
Compliance Scope:	NewCo	omplete							Input File Na	ame:		Regional	Housin	g Author	ity.cibd1	6x				1					
C. OPAQUE DOOR :				2.				3.		4.		5.		6	Q	8	7.	Confi	rmed				Ł.		
Opaque Door Assem / Tag or I.D	bly Name		Do	or Type		Ce	rtificat	ion Method	Ope	eration		Are	a	Ove U-fa	rall tor	Sta	atus ¹	Pass	Fail				R		
Metal Door1	0	Meta	alInsulatedSin	gleLayerSe	ctionalDoor	· De	efaultP	erformance	NonS	wingin	g	60 14	1	0.1	79		N						H I		5
¹ Status: N - New, A – Altered	d, E – Existing			Singlezaye	nonapbool			enormanee	- Hono		6			1.1						I			E	۲ (C	5
NRCC-PRF-MCH-	DETAILS	-SECTI	ON START	-																			A (N C	2
A. MECHANICAL VI		N AND F	REHEAT (Add	apted from	n 2016-NR	сс-мсн	1-03-E)										Confi	irmed				2 F	Į	
		1. DES	IGN AIR FLOV	vs			Т				2. VENT		(§ 120.1	.)			0	-					IS		
CONDITIONED ZONE NAME	EATING/COOLING SYSTEM ID	ESIGN PRIMARY AIR FLOW (CFM)	ESIGN PRIMARY MINIMUM AIR FLOW (CFM)	MINIMUM PRIMARY AIR FLOW FRACTION	MAXIMUM HEATING AIR FLOW (CFM)	MAXIMUM HEATING AIR FLOW FRACTION	DDC CONTROL (Y/N)	VENT SYSTEM ID	CONDITIONED AREA (ft2)	MIN. VENT PER AREA (CFM/ft2)	DESIGN NUM. OF PEOPLE	MIN. VENT PER PERSON (CFM/person)	Q'D VENT AIR FLOW (CFM)	DESIGN VENT AIR FLOW (CFM)	RANSFER AIRFLOW (CFM)	DCV (Y/N)	oerable Window Interlock § 140.4(n) (Y/N)	Pass	Fail				IOH TRUO		YUBA
1-Reception	HVAC System	255	NA	0.00	NA	NA	N	HVAC System	265	0.50	8.83	15.00	133	133	NA	N	Ν						E E E	•	
2-Office	HVAC System	358	NA	0.00	NA	NA	N	HVAC System	372	0.15	1.86	30.00	56	56	NA	N	Ν						2		
3-Kitchenette	HVAC System	415	NA	0.00	NA	NA	N	HVAC System	431	0.15	1.08	60.00	65	65	NA	N	NA								
4-Support	HVAC System	221	NA	0.00	NA	NA	N	HVAC System	230	0.15	1.15	30.00	35	35	NA	N	NA								
CA Building Energy Eff	iciency Stan	dards- 20	016 Nonresid	ential Com	pliance	Re	eport V	ersion: NRCC	-PRF-01-E-0	626201	19-5583	Page 19	of 19	Report	General	ted at:	2019-10	-25 10:03	3:34	1	DESCRIPTION				
Project Address:	384 Mi	iles Aven	ue Yuba City	95993					Calculation	Date/Ti	ime:	10:03, Fi	i, Oct 25	5, 2019											+
Compliance Scope:	NewCo	omplete							Input File Na	ame:		Regional	Housin	g Authoi	ity.cibd1	6x				1	DATI				
C. TAILORED METH Additional "use it or I	OD CONDI ose it" (See	TIONED	LIGHTING	POWER A	LLOWANC	ESUMM	IARY A	AND CHECKI	LIST (Adapt	ted fro	om NRC	CC-LTI-04	I-E)			ş	140.6	0			<u>N</u>				
															Total wa	itts		0				$\overline{\nabla}$			
D. GENERAL LIGHT	ING POWE	R (Adap	oted from N	RCC-LTI-04	4-E)												§ 1	40.6-D					~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~		
This Section Does No	t Apply																			1		<i>fs</i>	PROFE	SSIO	ANA ANA
E. GENERAL LIGHTI	NG FROM	SPECIAI Primar	y Function Ar	I AREAS (A [.] ea	Adapted fr	om NRC minance ((LUX)	C-LTI- Value	D4-E) Room Cavit (Table	y Ratio G)	Allowe	ed LPD	Flo	or Area	(ft²)	Allowe	ed Wat	§ 1	40.6(c) Confirm Pass	3H ned Fail			REGISIER	ERI AUS	C D. MUS 55286	- CHIGHTER
Note: Tailored Method for Sp	ecial Function /	Areas is not	t currently impler	nented		NА				N	0		АИ		ſ	***					A	15	09-30 CI	2-202	ANIT A
F. ROOM CAVITY R	ATIO (Adap	oted fro	m NRCC-LTI	-04-E)			Dod															A.	EOF	CALIF	OK
Room Number		Task/	Activity Desc	ription	R	oom Leng NA	gth (ft)	R	oom Width	(ft)	Rod	om Cavit	y Height A	(ft)		RCR NA		Con Pass	firmed Fail		D,		22, 24	PIS	
Non-Rectangular S	paces																					ESIGN	ED BY	:_ EC	 ⊃A
Note: All applicable spaces a	re listed under	the Non-Re	ectangular Spaces	table																		RAWN	BY: ED BY:	E	2A 2A
G. ADDITIONAL "U	se it or lo	OSE IT" ((Adapted fr	om NRCC	-LTI-04-E)			3					_					Confirm	ned		SC A	S NO	ED		
Wall Dis	play		Combined Fl	oor Display Lighting 0	y and Task	Comb	oined C Ef	9. Ornamental a fects Lighting 0	nd Special S	Ň	Very Val	uable M	erchand	lise	Allov	ved Wa	atts	Pass	ai D		PF	ROJE AGE	ст *	OF	;
5. Wall Display]()	
This Section Does No	t Apply															-									
CA Building Energy Eff	iciency Stan	dards- 20	016 Nonresid	ential Com	pliance	Re	eport \	ersion: NRCC	-PRF-01-E-0	626201	19-5583			Report	Generat	ted at:	2019-10	-25 10:03	3:34			HE≣]	et no ET	o. Na	2

roject Name:	Nonresidential Building		NRCC-PRF-01	I-E Page 19 of 19			
roject Address:	384 Miles Avenue Yuba City 9599	93	Calculation D	oate/Time: 10:03, Fri, Oct	25, 2019		
ompliance Scope:	NewComplete		Input File Na	me: Regional Hous	ing Authority.cibd16x		
. Floor Display and Tas	k Lighting						
his Section Does Not App	ly						
. Combined Ornament	al and Special Effects Lightin	g					
his Section Does Not App	ly						
. Very Valuable Merch	andise						
his Section Does Not App	ly						
. INDOOR & OUTDOO	R LIGHTING ACCEPTANCE TES	STS & FORMS (Adapted from	m NRCC-LIT-01-E and NRC	C-LTO-01-E)		§ 1.	30.4
Declaration of Required A	Acceptance Certificates (NRCA) –	-Acceptance Certificates that r Fiel	nust be verified in the field. (d Inspector to verify).	(Retain copies and verify for	ms are completed and signed	to post in	field for
Test	Description		Indoor		Outdoor	Conf	irmed
lest	Description	NRCA-LTI-02-A	NRCA-LTI-03-A	NRCA-LTI-04-A	NRCA-LTO-02-A		
Equipment Requiring Testing or Verification	# of units	Occ Sensors / Auto Time Switch	Auto Daylight	Demand Responsive	Outdoor Controls	Pass	Fail
Occupant Sensors	2						
Automatic Time Switch	0						
Automatic Daylighting	0						
Demand Responsive	0						
Outdoor Controls	2						
			-				-

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance

Report Version: NRCC-PRF-01-E-06262019-5583

Report Generated at: 2019-10-25 10:03:34

City/State/Zip:

Outdoor Lighting				THE CALLON T
NRCC-LTO-E (Created 9/17)			CALIFORN	
Project Name: Regional Housin	g Authority	Report Page:		Page 6 of 6
Project Address: 384 Miles Avenu	le	Date Prepared:		10/25/201
DOCUMENTATION AUTHOR'S	DECLARATION STATEMENT		DocuSigned by:	2
Documentation Author Name:	Mario Bertacco	Documentation Author Signature:	Mario Birtacco	
Company:	NRG Compliance, LP	Signature Date:	9B5390587D4C4D9	10/25/2019
Address:	P.O. Box 3777	CEA/ HERS Certification Identification	n (if applicable):	
City/State/Zip:	Santa Rosa, CA 95402	Phone:	707-237-6957	
 certify the following under penal The information provided on t I am eligible under Division 3 of Compliance (responsible desig The energy features and perfor Certificate of Compliance conf The building design features of compliance documents, works I will ensure that a completed to the enforcement agency for documentation the builder pro- 	alty of perjury, under the laws of the State of C his Certificate of Compliance is true and correct of the Business and Professions Code to accept gner) form to the requirements of Title 24, Part 1 and r system design features identified on this Cert sheets, calculations, plans and specifications su signed copy of this Certificate of Compliance s r all applicable inspections. I understand that a povides to the building owner at occupancy.	california: ct. responsibility for the building design or syst , and manufactured devices for the building d Part 6 of the California Code of Regulations tificate of Compliance are consistent with th ubmitted to the enforcement agency for app hall be made available with the building per completed signed copy of this Certificate of	tem design identified o design or system desig s. he information provided proval with this building rmit(s) issued for the bu f Compliance is require	n this Certificate of n identified on this d on other applicable g permit application. nilding, and made available d to be included with the
Responsible Designer Name:	Eric D Ausmus	Responsible Designer Signature:	m	
Company :	Ausmus Engineering Inc	Date Signed: 10/25/19		
Address:	3311 Penzance Avenue	License: CA CIVIL 65286		

Phone:

530-521-2648

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance: http://www.energy.ca.gov/title24/2016standards

Chico, CA 95973

September 2017

AUSMUS